

BUILDER INFORMATION FOR FARMLORE NORTH

(Relating to Farmlore North-Residential, City of Brighton, County of Adams)

DESIGN STANDARDS

CONSTRUCTION REGULATIONS

INCLUDED FOR REFERENCE:

BRIGHTON LAKES PUD

(First, Second, and Third Amendments)

DESIGN GUIDELINES

Refer to FARMLORE Design Guidelines Submitted to City of Brighton on October 13, 2020
(Approved by Brighton DRC 7/30/2021)

FARMLORE NORTH DESIGN STANDARDS

(Relating to Farmlore North-Residential, City of Brighton, County of Adams)

Refer also to FARMLORE Design Guidelines submitted October 13, 2020
(to City of Brighton DRC and approved 7/30/2021)

INTRODUCTION

The Farmlore Design Guidelines (approved by City of Brighton DRC 7/30/21) have been prepared to help the City of Brighton, home buyers, builders, architects and residents in developing appropriate architectural and site plans for Architectural Review Committee (ARC) submittal and are designed as a benchmark and not intended to be an exclusive architectural list.

In an effort to assure owners and residents of Farmlore that proper standards of development and construction will be maintained, the Declarant, as defined in the Master Declaration of Covenants, Conditions, and Restrictions for Farmlore (the “CCRs”), has established the following additional Design Standards and Construction Regulations (the “**Design Standards**”) related to the initial construction of homes in the community. These Design Standards are supplemental to, and do not in any way alter, the provisions and requirements contained in the City of Brighton Land Use Code or other municipal or government regulations or official documents pertaining to Farmlore, such as, zoning ordinances, recorded plat and any amendments, Brighton Lakes PUD – First Amendment (to be known as Farmlore), Second Amendment, Third Amendment, Fourth Amendment and any subsequent amendment to the PUD (the “PUD”), Brighton Lakes Overall Development Plan (ODP), and the CCRs. Copies of these recorded documents are typically included with the title commitment exceptions provided with each Site purchase but an electronic copy can be furnished to each builder and homeowner upon request.

Prior to any construction on Sites or property within Farmlore, approval from the ARC is required. No building, fence, patio, deck, planting, play equipment, landscaping or other structure, whether permanent or temporary (an “Improvement to Property” as more fully defined in the CCRs), shall be erected, placed or altered on any Site until the construction plans and specifications have been pre-approved by the ARC as to the structure to be built, materials used, harmony of external design and color with existing structures, topographical location, finished grade elevation and aesthetic relationship with other existing improvements.

The Farmlore ARC shall have the exclusive right to refuse approval (in its sole subjective opinion, based on findings of the ARC), of any Improvement that is not suitable or desirable for this development. All plans and specifications are to be approved in writing by the ARC and final approved plans and specifications shall be maintained by the ARC for five years. Changes made to the final approved plans or any additions affecting the external appearance of an approved Improvement or Property is subject to the requirements within the recorded PUD, ODP, CCRs, these Design Standards, the Brighton DRC approved Design Guidelines, any municipal or government requirements, and must be approved by the ARC prior to installation.

The ARC and/or the Declarant (as the same relates to approval granted to Principal Builders) have

the authority to grant variances when circumstances such as topography, natural obstructions, hardship, aesthetic or environmental considerations may require. The Declarant (as it relates to approval for Principal Builders) or the ARC shall have the right, from time to time, to waive, at their sole discretion, any provision of the Design Standards. However, no such waiver shall be construed or held to be a waiver of any provision of the Design Standards or Design Guidelines or of the same provisions as to any other party.

These Design Standards may at any time, from time to time, be added to, deleted from, repealed, amended, and modified, reenacted or otherwise changed as provided in the CCRs.

Unless otherwise defined in these Design Standards, initially capitalized terms used in these Design Standards shall have the meaning given to the same in the CCRs.

Enforcement of Covenants and Design Standards and Design Guidelines

The Lakes Metropolitan District No. 4 (the “District”) shall have responsibility for the enforcement of the architectural and landscaping requirements of the CCRs and these Design Standards, as the same relates to the property within the boundaries of the District, as more fully provided in the CCRs. The District, its Manager or agents, and the ARC will investigate written complaints concerning violations of the requirements/prohibitions of the CCRs or these Design Standards, if such complaints are signed and dated by the person making the complaint. The District, its Manager or agents, and the ARC shall use all reasonable means to maintain the anonymity of complainants. If a violation is found as a result of a complaint or through its own inspections, the District or its Manager shall notify the Owner whose property is in violation, in writing, requesting that appropriate action be taken to achieve compliance in accordance with the District’s policy related to the enforcement of covenants and rules. If compliance is not achieved, the District may take enforcement action (including assessing fines, fees, and penalties) in accordance with the CCRs and District’s enforcement policy then in effect. Specific duties and powers of the ARC and the District are more fully set forth in the CCRs.

Other Conditions

APPROVAL OF PLANS BY THE ARCHITECTURAL REVIEW COMMITTEE SHALL NOT BE DEEMED TO CONSTITUTE A WARRANTY, ASSURANCE, OR REPRESENTATION BY THE APPROVING PARTY OR COMPLIANCE WITH THE REQUIREMENTS OF ANY FEDERAL, STATE OR LOCAL REQUIREMENTS INCLUDING LOCAL BUILDING, ZONING, SAFETY, HEALTH OR FIRE CODES. IT WILL BE THE RESPONSIBILITY OF THE OWNER OR OTHER PERSON SUBMITTING PLANS TO ASSURE SUCH COMPLIANCE. NOR SHALL APPROVAL WAIVE ANY REQUIREMENTS ON THE PART OF THE OWNER OR HIS/HER AGENT TO COMPLY WITH SETBACKS, HEIGHT RESTRICTIONS, OR REQUIREMENTS UNLESS SUCH WAIVER OR VARIANCE IS SPECIFICALLY REQUESTED AT THE TIME OF SUBMITTAL AND PROVIDED THAT THE WAIVER OR VARIANCE MAY PROPERLY BE GRANTED BY THE ARC AND CONFORMS WITH APPLICABLE CITY OF BRIGHTON ZONING REQUIREMENTS.

Builders must also receive master plan approval by the City of Brighton DRC as a condition to obtaining a building permit.

DESIGN PHILOSOPHY AND DIVERSITY OF ARCHITECTURAL STYLES

Farmlore North is a planned unit development (PUD) community that allows for a diversity of product types such as farmhouse, craftsman, prairie, foursquare, and other styles approved by the ARC including modern interpretations of each on varying Site sizes. Mixed uses are permitted south of E. 144th Avenue between Chambers Road and the future S. 19th Avenue. A combination of single-family homes in varying designs and exterior finishes and color schemes shall be mixed together along the streetscape to create variety and visual interest. Construction will occur in several phases. Phase 1 will consist of front load and alley load single family detached homes along with paired homes with private alleys. Phases 2 and 3 allow for additional front load and alley load single family, townhomes, and mixed uses. Farmlore North will also consist of common area open space areas with natural and irrigated landscaping, a centrally located neighborhood park and community park with play equipment designed for a variety of ages, trails for walking, bike riding, and a future recreation center. The City of Brighton's future Prairie Lakes Regional Park and Open Space is located along the eastern boundary of Farmlore North. Trail uses are integrated throughout the community to create connectivity and opportunities for active and passive recreation and will be owned and maintained by the District. It is the intent of these Design Standards to create a standard of architecture and landscape quality that is consistent and cohesive throughout the community. The guidelines have been established to balance the individual architectural designs with the overall character of Farmlore North.

Repetition of floor plans and exterior elevations are allowed only in compliance with the City of Brighton plan diversity matrix. Homes will be evaluated based on a point system for architectural features for each home plan as outlined in the City of Brighton approved Design Guidelines and PUD, and although a general overview of that information is included herein, each builder should review these additional documents for more details to fully comply with City of Brighton requirements.

Topics are listed below in alphabetical order for ease in locating pertinent information by category.

Address Numbers

Approved address numbers are required on all new buildings in such a position as to be plainly visible and legible from the street or road fronting the Site and shall contrast with their background. Styles shall be consistent for each product type.

Awnings or Overhangs

ARC approval is required for any awnings or overhangs including design, materials, color and location. Awnings should be an integral part of the house or patio design. The color and materials shall be complimentary to the exterior of the residence.

Building Height

In accordance with the PUD, building height cannot exceed the maximum height limit of 40 feet for single family detached and paired homes with a front load garage and a maximum of 45 feet for single family detached and attached homes with a rear load garage. Maximum height for townhomes is 45 feet. Apartment or condominium buildings can be 4 stories up to a maximum of 50 feet in height. Building height will be measured in accordance with the Brighton Municipal Code.

Accessory Living Areas are permitted in accordance with City of Brighton code. Accessory buildings are permitted up to a maximum of 700 sq. ft. and 28 feet in height for single family detached and 20 to 25 feet in height for paired homes depending upon home style. Brighton DRC and Farmlore ARC approval is required.

Please refer to the PUD for additional information.

Building Massing and Diversity of Housing

It is the intent of these standards to encourage design solutions that create the most appealing street scene. The relationship of buildings to one another and the street is especially important at corners. Buildings on corner Sites should address both streets. Enhanced side and rear elevations are recommended and desired for corner Sites and will be required on homes that back to a park or open space to achieve a more welcoming sense for pedestrians and street traffic. Single family detached product diversity will be achieved through providing a minimum of 3 models and with a minimum of 3 elevation styles per model along with architectural features using a point system as noted below on the Diversity of Housing Chart*. All front door entries are to be covered a minimum of 3 feet. At least 1 window on each elevation must be provided. Rear facades must contain at least a 1 foot recess or projection; a 2 foot recess or projection is preferred.

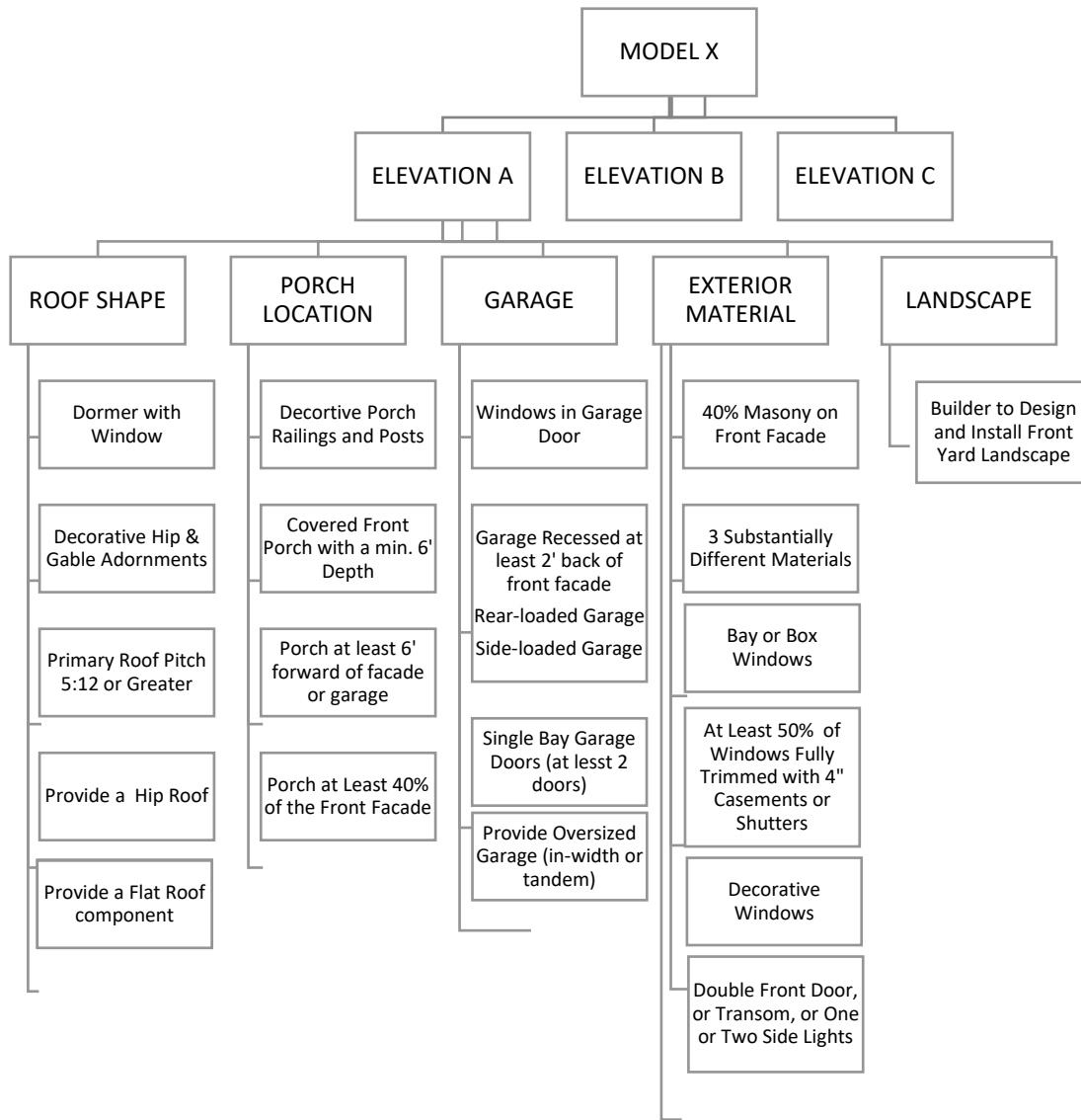
Single Family Detached - Diversity of Housing Chart

*The Diversity of Housing Chart is a living document and as architecture trends change over time, builders may submit design elements not listed on the Chart and the City of Brighton will give consideration to approving the credit.

HOME SIZE	DIVERSITY POINTS	
2,400 sq. ft.* or more	6 Pts per Elevation	Each elevation no more than 4 of same 6 points. 2 points shall be from each of Roof Shape & Exterior Material.
2,399 sq. ft.* or less	5 Pts per Elevation	Each elevation no more than 3 of same 5 points. 3 of the 5 points shall be from Roof Shape & Exterior Material.

*Excludes basement, garage, and finished space above garage. Elevations without a porch or a porch that is less than 30 feet in size must gain another point from another category.

Diversity of Housing Chart



Building Siting and Drainage

A site plan showing proposed elevations and drainage shall be submitted as part of the ARC application. All grading and drainage must comply with Articles 3 and 4 of the CCRs and in accordance with geo-tech soils reports. No grading will extend beyond Site lines. Exterior grading will be adequate for drainage away from the house and adjacent homes. All grading and drainage plans must be approved by the City of Brighton as part of the building permit process. Proposed contours must coincide with existing overlotted contours at property lines.

No Site owner shall modify or change the topography or contour of any drainage areas or easements, including drainage swales. It is especially important that any altered drainage patterns over a Site not cause soil erosion on adjacent properties.

Carriage Unit / Accessory Dwelling Unit

Carriage units and accessory dwelling units (“ADUs”) are permitted in accordance with the City of Brighton Land Use Code, the PUD and Farmlore Design Guidelines approved by the Brighton DRC and the CCRs, subject to compliance with the City of Brighton regulations and the prior written approval of the ARC and the criteria outlined below.

A carriage unit or an ADU shall be architecturally compatible with the main residence in design, color, style, materials and roof pitch and may be required to have at least 1 plane break. In no case may the ADU be more than 700 sq. ft. All ADU structures must be on a poured foundation. No temporary and/or portable buildings or pre-fabricated buildings will be allowed.

An ADU may be serviced off the primary dwelling unit's water tap subject to the City of Brighton's regulations.

PRIOR TO CONSTRUCTION OF ANY ACCESSORY DWELLING UNIT (ADU), THE OWNER SHALL SUBMIT TO THE ARC FOR APPROVAL ALL PLANS AND SPECIFICATIONS WITH THE SAME REQUIREMENTS AS SUBMITTING THE PRIMARY RESIDENCE.

Colors

The skillful use of color variation is especially important, as it can complement a building's architecture as well as contribute to the overall variety of the neighborhood. Monotonous color palettes and high-gloss paints are strongly discouraged. Shades of color in a variety of color schemes should be used to create visual interest that provides diversity. Accent colors on doors, window frames, fascias, soffits and trims, used judiciously are encouraged. No color palette can be repeated on adjacent homes.

All projections including, but not limited to, chimney flues, vents, gutters, downspouts, utility boxes, porches, railings, support columns and exterior stairways will match the color of the surface from which they project unless otherwise approved. ALL EXTERIOR COLORS MUST BE APPROVED IN WRITING BY THE ARC.

Construction Start and Completion Times

Unless a variance delaying commencement of construction of a residence or ADU is approved in accordance with the provisions of the CCRs, construction shall be completed within 12 months of the date of approval by the ARC.

Decks and Deck Supports

Decks may be constructed of redwood, composites, or other material compatible with the residence or as approved by the ARC. Deck rails can be redwood or wood, composites, or iron rails painted black. All decks, deck rails, support posts, porches etc. made of wood must be protected with a clear preservative sealant (varnish is not permitted), stained, or can be painted to be compatible with the primary or secondary color of the residence. Deck vertical support posts can be redwood, finished wood, or masonry to a finished minimum of 4 inches x 4 inches. Only unenclosed rear yard decks and related screens, trellises, etc. may be proposed for construction within or as part of

the residence with the exception that the ARC may consider an unenclosed front deck adjacent to the front stoop for single family detached alley load homes originally constructed without a front porch. All other decks will be reviewed on a case-by-case basis.

Any deck, stairs, or attachments to the house and all support members will be constructed in accordance with the City of Brighton building code and permit requirements and with these design standards using approved materials and shall be protected with a clear preservative sealant (varnish is not permitted), stained or painted to be compatible with the primary or secondary color of the residence unless other weather resistant materials are used such as Trex decking, etc. in a compatible color are used.

ARC approval is required for design, color and location of decks. Plans must show the exterior elevations, designate materials and colors to be used, include dimensions at a scale of ¼ inch equal to 1 foot, and show existing and proposed grading.

Driveways and Walkways

Driveways must be paved with concrete to the primary or ADU garage. All driveways must be completed prior to move-in. Materials used to create special paving patterns are subject to ARC approval prior to installation.

Walkways to the front door off the main driveway must be concrete. Other walkways as part of a landscaping plan may be concrete, brick, concrete pavers, flagstone, or other natural materials to create the most attractive landscaping effect and are subject to review and approval by the ARC. Driveway lighting and driveway or walkway entry columns must match or compliment other elements of the architecture of the home and are subject to approval by the ARC. All lighting must comply with exterior lighting standards.

Eaves, Fascias and Soffits

Eaves, fascias, and soffits shall be detailed appropriately for each architectural style. Fascias shall be a minimum of 6” and soffits shall be a minimum of 12” and each painted to match the exterior body or trim color of the home.

Exterior Elevations

Plans should be designed to look attractive from all four sides. Decorative elements (masonry veneer, covered porches, shutters, dormer windows, fireplaces, bay windows, etc.) and decorative adornments are highly encouraged and should not be limited to the front facade only. A minimum of 1 window on each elevation is required.

Exterior Lighting

Exterior lighting shall be LED and should be subdued and directed downward with no harsh glare to surrounding properties to meet the International Dark-Sky Association’s (IDA) standard for reducing light pollution (or in other words, minimizing glare) into the night sky. Lights that are Dark Sky compliant have positive features like being fully shielded at the top so the light is directed downward. The lighting should minimize light spill onto adjacent properties and may be permitted by the ARC for such purposes as illuminating entrances, garages, decks, driveways, walkways, etc. In all cases, exterior lights should be of a design compatible with the structure and indicated

on the architectural plan and landscaping plan.

On single family attached (SFA) product, all residential alley access product types shall require low level wall mounted lighting fixtures near the garage door.

Ground lighting along walks must be maintained in a working and sightly manner. Low-voltage or solar powered ground lighting fixtures which are typically affixed by stakes or similar posts are to be maintained in good aesthetic repair, be functional, not be a tripping or other physical hazard along pedestrian pathways, and remain generally vertical in their presentation.

This requirement does not apply to streetlight styles and fixtures that may be required by the City of Brighton for the development.

All exterior lighting is subject to the approval of the ARC.

Exterior Materials

Details are to be incorporated throughout a structure in order to create a variety of light and shadow at all scales. While the building mass should express simple forms, the use of various material textures is encouraged to add interest and character to the building's identity. Attention should be paid to architectural details such as columns, brackets, corners, eaves, railings, doors, and trim.

- Wood siding shall be restricted to natural wood boards or shingles; stained or painted.
- Fiber-cement based siding such as Hardiplank or an equivalent is encouraged and shall be prefinished or painted.
- All siding shall have an 8-1/2 inches maximum reveal and shall be painted to match stucco (where applicable).
- Natural or cultured stone, brick or stucco are approved masonry types
- Vinyl or aluminum siding is not permitted.

The following minimum percentages of masonry will apply except where to achieve a rural or farmhouse character:

- Front elevation - A minimum of 25% of the entire front elevation (excluding glass and garage doors) shall include brick, stone, or stucco. The remainder of the front elevation materials can be brick, stone, stucco, or wood or fiber-cement siding.
- When enhanced exterior wall material is utilized, the material shall wrap around the front elevation inside corners and return a minimum of 2 feet at outside corners.

Additional architectural detailing will be required on solid stucco or other masonry homes to provide relief or visual breaks from the masonry material.

Window Frames will be painted wood, natural wood, anodized aluminum or vinyl or as determined by the ARC.

When using masonry, it is desired that foundation concrete not remain exposed. When using siding, foundations should not have more than 6 inches of exposed concrete visible on any elevation. The ARC may determine that some exposed foundations may need to be painted to

match the structure.

All down spouts from gutters must have an extension or a splash block at the bottom carried out from the wall of the residence in accordance with geo-tech requirements and placed in the same direction that the ground drains and shall be installed simultaneously with the down spouts.

Exterior Mechanical Equipment

All exterior mechanical equipment, such as air conditioners, cooling, heating or other mechanical equipment located outside a residence shall be screened from view by other Sites and from the streets by fencing, materials matching exterior house material or with landscaping to reduce impact. Equipment should be installed in such a manner to minimize visibility from the street and minimize noise to adjacent property owners. Under no circumstances will these mechanical items be roof mounted or located in a window of the house. ARC approval is required.

Exterior Storage Areas/Sheds

Accessory and storage sheds are permitted subject to ARC review. Structures are subject to City of Brighton accessory structure setbacks and, if stick built, shall match the main structure with exterior siding materials, paint colors and roofing material. Prefabricated sheds such as Tuff-Shed are allowed and the homeowner should select a model that best reflects the style of the residence and roof color that closely blends with the residence. Any pre-fab shed shall be installed on a base and painted to match the residence color. Sheds are limited to a maximum of 80 sq. ft. and maximum height of 9 feet.

Exterior Trim

Wood trim will be included around the perimeter of all doors and windows in a manner appropriate to the architectural style of the building, unless replaced by masonry. Trim color will be important criteria to consider and must be approved by the ARC.

Fire Pits

No more than one outdoor fire pit shall be allowed on each Site, and any such fire pit shall be gas operated, subject to City of Brighton regulations. All fire pits must be at least 5 feet off any property line.

Fireplaces

Fireplaces and the full height of their chimneys, if any, must be fully enclosed with compatible materials. Fireplace, furnace and stove flues should be consolidated and fully enclosed within the chimney. All exposed metal flues or pipes shall be enclosed by the chimney cap. All other roof projections shall be painted to match the roof. Fireplace projections must not dominate the front fascia of the home. Exterior fireplaces designed as part of a deck, patio or outdoor living areas are also subject to approval by the ARC.

Garages

Garages should be designed as an integral part of the home. Garages are required to have a minimum two-car capacity; three car garages are encouraged on larger Site segment types. Garages can be front, rear, or side loaded. There shall be no maximum garage door coverage for the front loaded single family detached or attached product. On single family attached product, at least 25% of all street facing garages shall be recessed a minimum of 4 feet behind the front façade

of the structure or porch and not forward more than 4 feet, and 20% of front loaded garages shall have an enhanced garage door with windows or adornments. Refer to the Diversity Housing Chart for garage point system options. Garage doors should incorporate architectural detailing compatible with the home's design to add diversity to the streetscape. Window panels on garage doors are also encouraged to add street diversity. Recessed front loaded garages or recessed garage doors are encouraged. Split garages, side-load and tandem garages are also permitted. Flush or projecting garage doors with a 3-car door shall have a minimal horizontal offset of 2 feet from the other garage doors. Side loaded garages shall incorporate windows and architectural detailing for the front street facing elevation consistent with the balance of the front façade of the home. Garage doors designed to accommodate recreational vehicles, boat, or other recreational storage shall be a maximum height of eight feet (8').

Height Restrictions

Refer to Section E: Development Standards Chart on Sheet 8 of the PUD for height restrictions for all product types.

Mailboxes

Individual mailboxes are not permitted in residential areas. Mailbox kiosk stations are located throughout the community and installed in accordance with U.S. Postal Service regulations. The builder or Declarant will be responsible for the installation of the required kiosk station(s) and maintenance will be provided by the District. Mailboxes will be preassigned and homeowners are responsible for coordinating the pickup of keys from their Builder and delivery of mail directly from the Brighton Post Office after the residence closing in order to initiate mail delivery.

Patios and Patio Covers/Awnings

ARC approval is required. Open patios must be an integral part of the landscape plan and must be located so as not to create an unreasonable level of noise for adjacent property Owners. In some instances, additional plant material around the patio may be required for screening or integration into the landscape design. The patio and materials must be similar or generally accepted as a complementary color and design to the residence.

Patio covers and retractable patio awnings or deck awnings are permitted and must be constructed of material consistent with the home and be similar or generally recognized as complementary in color to the colors on the house. Awnings must be retracted when not in use.

Porches

Front porches are encouraged within each Site segment type and designed to comply with the PUD and City of Brighton standards. Refer to the Diversity of Housing Chart for porch options. Elevations without a porch or a porch that is less than 30 feet in size must gain another point from another category on the Diversity of Housing Chart. Vertical support posts on front porches and main level covered patios must be a minimum of 6 inches x 6 inches with architectural detail and painted to match home colors or be 12 inch x 12 inch masonry to match the residence.

A qualified front porch applies to single family detached and attached product only and means a covered space with a minimum of 48 sq. ft. of floor area with a minimum depth of 6 feet. Refer to Diversity of Housing Chart for porch options.

Retaining Walls

Retaining walls should be a maximum of 2 feet in height constructed of brick, natural stone, stone pavers or similar materials that match or compliment the residence and subject to approval by the ARC. Terracing should be used where additional height is required. In exceptional cases where additional height may be needed, engineered plans may be required per City of Brighton code. Exposed concrete, treated wood, concrete block or creosoted railroad tie retaining walls are specifically forbidden. Retaining walls that are curvilinear and divided are preferred to straight, long walls. All retaining wall designs and materials must be submitted for approval by the ARC

Roofs

Primary roof pitches must be between 4/12 and 12/12 unless otherwise approved by the ARC based on an overwhelming design justification or for minor roof pitches over covered porches, decks, or other minor roof elements. Roof overhangs for all main roofs shall be a minimum of 12 inches on all rakes and eaves. The roof overhangs on secondary roof elements may vary in order to achieve a consistent fascia line. Refer to **Diversity of Housing Chart – Roof Shape** for roof point options.

Variable plate heights, fascia levels and roof forms which are consistent with the architectural style of the home must be incorporated in the roof design. Large unbroken expanses of single pitch roof are discouraged. A simple main roof mass should be used in conjunction with complimentary minor roof forms and elements such as dormers, gable ends and eyebrows. These minor roof elements should be proportional to the spaces they cover as well as the overall roof form. Gable and hip roof forms are encouraged. Flat and mansard roofs will not be approved. Internal volumes within the building should be expressed by changes in roof planes.

Roofing materials will be architectural style dimensional asphalt shingles or concrete tile in shake style in earth tone colors. When asphalt shingles are used for single family detached (SFD) and single family attached (SFA) product type, 3 distinct colors are required to be dispersed throughout each product type area. Roof materials and colors require Brighton DRC and Farmlore ARC approval.

Setbacks

Building setbacks must comply with the minimum established by the City of Brighton, the Brighton Lakes PUD – Third Amendment (to be known as Farmlore), and in accordance with the CCRs. Setbacks may vary for each particular Site size segment type. **Refer to Section E: Development Standards Chart on Sheet 4 of the PUD-Third Amendment for setbacks and encroachment into setbacks for all product types.**

See section on Fences within these Design Standards for fence setbacks and permitted fence type, height, material, color, style and location.

Sheds (see Exterior Storage Areas)

Solar Energy Devices

ARC approval is required to review aesthetic conditions except for pre-approved rooftop solar panels installed by the original builder. Passive and active solar energy systems must be integrated into the architecture of the residence area and meet all applicable safety, building codes and electrical requirements. Solar collection panels should blend into overall architectural massing

and roof form designs and panel edges must be of a color compatible with the roof color. Solar panels should be at the same pitch as the roof, even though the slope may not be "optimal". For solar collection, a small increase in panel size may be required to increase the efficiency of the collector array which is preferable to the visual conflicts of different angles and slopes on the roof. Solar panels will not protrude more than 1 foot above roof surface or above ridgeline of a roof. No exterior plumbing may be visible.

Trellis, Arbors, Latticework

Approval is required for any type of installation of trellis, arbor, or latticework. Adequate framing is required. The inside height of a proposed arbor or trellis must not exceed 8 feet, 6 inches. Considerations will include, but may not be limited to, height, color and material. Arbors must be complementary to the residence and shall be painted or stained in colors that are complimentary to the residence. Professionally prepared plans for arbors are highly encouraged to expedite the approval process; otherwise, a photograph or catalog picture must be provided.

Windows: Tinting, Security Bars, Well Covers, etc.

ARC approval is not required for window well covers that are manufactured with metal or plexiglass. All others will require ARC approval.

ARC approval is required for any visible window tinting. Highly reflective and/or dark tinting is considered too commercial for residential applications and is not permitted.

No "burglar bars," steel or wrought iron bars or similar fixtures, whether designed for decorative, security or other purposes, shall be installed on the exterior of any windows of any building.

LANDSCAPING

NO ARC APPROVAL IS REQUIRED FOR FRONT YARD LANDSCAPING PLANS IF THE BUILDER HAS MASTER LANDSCAPE PLANS APPROVED BY THE CITY OF BRIGHTON. BUILDERS ARE ALSO RESPONSIBLE FOR OBTAINING ANY OTHER NECESSARY APPROVALS FROM THE CITY OF BRIGHTON. ALL TREE LAWN AREAS OR OTHER LANDSCAPED TRACTS OR COMMON AREAS MUST BE INSTALLED IN ACCORDANCE WITH CITY APPROVED LANDSCAPE PLANS FOR THE COMMUNITY AND THESE DESIGN STANDARDS. Minimum landscaping standards have been created in order to assure that each homeowner enjoys the benefit of a well landscaped community in accordance with the City of Brighton standards. Builders are encouraged to design attractive and unique landscape plans within these guidelines with an emphasis on utilizing low water use plant materials. While plans are not required to be designed by professional landscape designers, it is strongly recommended to create the best plan for the individual home site. Xeriscaping is permitted. Xeriscape in the Right-of-Way tree lawn area is permitted ONLY if originally installed by the Builder and if used on an entire street block in accordance with ARC approved designs per product type. See **Exhibits D and E** for tree lawn xeriscape design and approved plant materials.

All Sites must have an automatic irrigation system installed with the landscape. All irrigation systems should be designed by a landscape architect, designer or irrigation specialist to ensure water management and plant growth. The irrigation system must be designed so that water does

not cross property lines and so the irrigation system is in complete compliance with the individual home's soil report recommendations, specifically with regard to the no-irrigation zone at the edge of the home's building foundation. All irrigation systems shall comply with any applicable City of Brighton codes.

For the purpose of a common reference, these general landscaping definitions shall apply to the following section:

- **Landscaped Areas:** All available areas of a Site (excluding residence and hard surface areas that include driveway and walkways) that can be landscaped to include turf areas, planting beds containing trees, shrubs, ground covers, annuals, perennials, mulch and edging.
- **Turf:** Sod or irrigated grass such as bluegrass or artificial turf in rear yards
- **Mulch:** Organic material such as bark, gravel and other types of ground cover that are not grass (river rock is not considered mulch).
- **Xeriscape:** A water conscious landscape methodology focused on the reduction or elimination of excessive irrigation. Water consumption is reduced through the selection of regionally adapted, drought resistant plants and sod combined with efficient irrigation techniques and soil management practices. This allows for an attractive landscape that requires less water and maintenance long term.

All proposed landscape improvements including trees, shrubs, turf, mulches, walls, gardens, water features, curbing, re-vegetation, etc. are subject to the criteria listed below and plans are to be submitted to and approved by the ARC within 60 days of initial home closing. Landscaping additions which were not part of the initially approved plan must receive separate ARC approval.

Landscape Criteria and Planting Requirements

Front yard and tree lawn areas shall be landscaped in accordance with these Design Standards, the PUD, as amended, and applicable City of Brighton's standards or pursuant to a master landscape plan approved by the City of Brighton. Xeric landscaping is permitted in front yards subject to 50% coverage of living plant material over mulched areas at initial planting and a minimum 75% coverage at plant maturity. Use of low water xeric plants recommended for Colorado climate as referenced in the Farmlore PUD (see **Exhibit C**) are highly encouraged or with low water plant substitutions per the City of Brighton recommendations (<https://www.brightonco.gov/documentcenter/view/20194>). At least 25% of the plants should be of an evergreen variety. Xeric landscaping is permitted in the tree lawn area for single family attached and detached areas that are serviced by an alley and only if initially installed by the Builder for an entire street block in accordance with landscape design per **Exhibits D and E**. If Xeric tree lawn landscaping is utilized as specified above, the rock mulch color and type in the front yard should relate to the tree lawn mulch to create a feeling of continuity.

Front yard and street facing side yard area of any Site shall be landscaped with living plant materials, in accordance with the following standards. The landscaped area shall include 100% of the unimproved Site area and ground cover over said 100%, which drought-tolerant and low water use plantings as referenced above are highly encouraged.

- A maximum of 40% of irrigated sod in the front yard.
- 1 ornamental tree (2 inch caliper of 8 to 10 foot planting height) is required for every 30

feet of building frontage.

- Evergreen trees (6 to 8 foot planting height) may be substituted for ornamental trees at a rate of 1 for 1 up to 50% of the requirement.
- 8 shrubs (24 inches or 5-gallon) per 30 feet of building frontage. 3 ornamental grasses may be substituted for each 5-gallon shrub up to 50% of the requirement.
- A minimum of 25% of shrubs should be of evergreen variety.
- Side elevations that face public right-of-way or access drives on Sites shall provide this standard on at least 25% of the building.
- Side elevations on corner Sites shall provide this standard on at least 50% of the streetscape and frontage requirement.
- All other unbuilt or unpaved areas of a Site (including back yards) shall require ground cover, perennials, grasses, rock, mulch or other natural and permeable surfaces. Up to 50% of any landscape area may consist of inorganic (non-living) decorative material provided it is designed and arranged in a way that can infiltrate runoff through the remaining 50% associated living planting areas. Living plant material placement and coverage will be important at side or back yards adjacent to open space tracts or parks that are required to utilize the open rail style fence. Large, unbroken expanses of gravel or decorative rock will not be accepted except within 5 feet of the home on the Site and in other areas only with approval by the ARC, which approval may or may not be granted at the Committee's sole discretion.
- Two different mulch types are required in the front yard that can consist of two different contrasting rock mulches or a combination of rock mulch and wood mulch.
- Refer to the DRC approved Design Guidelines and PUD for prototypical plant list.

Notwithstanding the above standards, included in Exhibits F through H are pre-approved water wise front yard garden designs, per Site type, that Owners may utilize. In the event an Owner is using a pre-approved plan, the Owner must notify the ARC in writing in advance of the intent to use a pre-approved plan, including which pre-approved plan is being used and the Owner's schedule for the installation of the landscaping. Any deviations from any pre-approved plan must be approved by the ARC.

- Artificial turf may be installed in the back yards of Sites in accordance with the following:
 - Artificial turf may be considered in fenced rear yard areas. Total artificial turf area of any height may not exceed 50% of the rear yard. The color must be similar to the geographical area, preferably a blended, multi-color monofilament fiber. The design intent is for artificial turf to emulate natural grass. Submittal must include the intended use and a sample of the proposed material showing the color and pile height.
 - Professional installation is required and must include a weed barrier and a porous, aggregate road base for drainage.
 - Proper infill for residential application, such as silica sand or "Envirofill" for kid and pet areas must be used. If only for a pet-use area, a product with less secondary thatch may be used. Infill must not be toxic to humans or pets and must blend into the turf and not be visually distracting.
 - The established drainage pattern may not be blocked or altered by the installation

- o of artificial turf.
- o A weed suppressor must be used under seams and the seams must be properly secured.
- o If an artificial turf area will meet a native area, it must be separated with a barrier of at least four inches of hardscape or planting area.
- o Artificial turf must be cleaned as necessary and periodically groomed to maintain its appearance. The District reserves the right to inspect and require replacement after the life expectancy has been reached, typically 15-20 years, or if the turf is not maintained in good condition.

Landscape Drainage Maintenance on Site

There will be no interference with the established drainage pattern over any property except as approved in writing by the ARC. Approval will not be granted unless provision is made for adequate alternate drainage. The "established drainage pattern" will mean the drainage pattern which exists at the time the overall grading of any property is completed and will include any established drainage pattern shown on any plans approved by the ARC. The established drainage pattern may include the drainage pattern from Common Elements over any Site, from any Site over the Common Elements, or from any Site over another Site.

Each Site owner is responsible for any erosion control that may be necessary to protect adjacent Sites or common areas from damage due to drainage or related erosion.

When installing landscaping, it is very important to ensure that water drains away from the foundation of the house and that the flow patterns prevent water from flowing under or ponding near or against the house foundation, walkways, sidewalks and driveways.

Landscaping Installation and Completion Times

Landscape plans must be submitted to and approved by the ARC within 60 days of home closing. Landscape plans should be designed with a focus on water conservation and xeric techniques such as:

- a. incorporate a "zoned planting scheme" to reduce water demand by grouping plants with similar water requirements together in the same hydrozone;
- b. use water-conserving grasses such as fescue sods; use drought tolerant plants, suitable to the region, with low watering requirements;
- c. incorporate soil amendments and use of organic mulches that reduce water loss and limit erosion;
- d. install efficient automatic irrigation systems that incorporate water conservation measures, including spray heads for ground cover and drip irrigation for shrubs and trees.

For landscape plans approved between April 1st and September 30th, all landscaping shall be installed by the homeowner within 60 days of plan approval. All landscape shall be installed within a reasonable time for all approvals granted between October 1st and March 31st of a calendar

year as determined by the ARC and based upon weather conditions. If the residence is completed after September 30th, the landscaping shall be completed no later than May 31st of the following year. The **builder** is required to install front yard landscaping with an automatic underground irrigation system, including the detached front tree lawn area, and any street facing side yard. The **homeowner** is responsible to install the landscaping for the rear and any interior side yards within 60 days after plan approval or within the time frames set out above. The **homeowner** is responsible for full maintenance of the tree lawn area and trees (the area between the sidewalk and street) located directly in front of the residence including replacement after expiration of the builder one-year warranty period. Tree lawn trees and ground cover shall be replaced with the same originally planted tree species and type and ground cover to maintain streetscape. Landscaping shall proceed with diligence and shall be completed within 30 days after the date of commencement of installation. Homeowners may not alter the final Site grading and drainage or interfere with utility easements.

The ARC may grant an extension for the installation of trees, sod, shrubs, and other living materials due to adverse weather conditions and due to permit and water restrictions that may be imposed by the City of Brighton. **For 2024, 2025 and until future notice, the City of Brighton has imposed a restriction of no sod installation from May 1st through September 30th and outdoor irrigation watering is limited to specific days/times based on address number. Builders should make themselves aware of and comply with all City restrictions.** However, if an extension has been granted by the ARC, landscaping will be installed as soon as weather permits or as soon as a permit is available and/or water restrictions have been relaxed or removed.

Landscape Maintenance / Death or Destruction of Living Material

Landscaping must be maintained with appropriate water, fertilizer, mowing, pruning, and weeding. However, weeds must be mowed and maintained below 5 inches in height.

In the event of death or destruction of any landscaping, including trees, shrubbery or sod, tree lawn area, the Owner shall be required to replace such landscaping within 15 days after such death or destruction, or as soon as practical considering plant material, weather, and growing season. Tree lawn trees, shrubs, and ground cover shall be replaced with the same originally planted tree, shrubs, and ground cover species and type to maintain streetscape.

Failure to comply with the above landscaping requirements can result in fines and additional costs in accordance with fine structure adopted by the Board.

Landscape Plan

A plan for preparing the Site for planting trees and lawn, grass, or other appropriate ground cover, including natural covers, and appropriate shrubbery for the entire Site, including the area up to the street pavement and right-of-way detached street tree lawn area will be submitted and approved by the ARC in accordance with these Design Standards and the CCRs.

The “landscape plan” must be drawn at a scale of 1 inch = 20 feet or larger and be submitted to the ARC prior to commencement of landscaping and include the following:

1. Scale – written and graphic, and North arrow
2. Existing and proposed structures and paving
3. All proposed landscape improvements including trees, shrubs, turf, mulches (bark, gravel, etc.), vegetable gardens, etc.

4. Berms, walls, fences or any other buffering device
5. Planting to be removed or relocated
6. Title block with name of owner, name of person preparing plan, address, and date prepared
7. A written or graphic statement describing type of irrigation system proposed and areas to be covered
8. Plant schedule showing number and location of plants of each species, plant name, size and condition (B&B or container)
9. Any other proposed improvements visible to adjacent Site owners or the public

Landscape Site Distance at Intersections

No fence, wall, hedge or shrub planting on corner Sites can obstruct sight distances at intersections. Maximum mature height is 3 feet. Clear sight distances must be maintained to meet Brighton Municipal Code Section 3.01D.2.

FENCES AND GATES

ARC approval is required for all front yard fencing, all fencing and gates adjacent to a street right-of-way, fencing and gates adjacent to open space areas, and fencing and gates on single-family detached homes located at an intersection corner. All fencing and gates must comply with community fence standards (See Exhibit A (Fencing Design) and Exhibit B (Farmlore Private On-Lot Fencing Plan) outlined in these Design Standards for approved fence and wing fence materials, type, style, stain color, and locations. Builder is required to call 811 for utility locates prior to fence installation. Front yard fences are currently not permitted in Farmlore North except for exception areas as noted below.

A consistent fence design shall be utilized for all fences and gates throughout Farmlore. Final fence design and fence plan shall be provided to the ARC as part of the landscape plan and fence locations must meet City of Brighton sight triangle requirements. Project perimeter fencing will be installed in accordance with the approved PUD, as amended, and final landscape plans for each phase of construction.

All side yard fences at single-family detached, front load garage Sites shall be set back a minimum of three feet (3') from the edge of the adjacent sidewalk of a Site adjacent to a public or private street and all side yard fences for single-family attached and detached alley load Sites shall be set back one and one-half feet (1.5') from back of sidewalk of a Site adjacent to a public or private street. All fences (including wing fence) shall be installed with a minimum setback of one foot (1') from the front and rear planes of the residence. No fences will be permitted to protrude in front of the front elevation of any residence except where a rear yard fence is adjacent to a front side yard fence due to platted lot orientation; additionally, front yard fences **may** be permitted if installed by the original builder and consistent for an entire product type on an entire street block, meet PUD Fourth Amendment and City of Brighton setback, height, and style standards and Farmlore approved materials, and receive ARC approval as part of the builder initial master plan approval.

A 48 inch high rough sawn stained cedar wood open three (3) rail fence is required on Site lines at the following conditions and in accordance with the Farmlore Private On-Lot Fencing Plan,

PUD Fourth Amendment and Fence Design (See **Exhibits A and B**):

1. Backing or siding to parks.
2. Landscape tracts (exceptions allowed when siding to Chambers Rd, S. 19th Ave., Sable Blvd., 140th or 136th Avenue or side fencing to tracts on alley load Sites adjacent to an alley or alley parking areas) (See **Exhibit B** for approved locations).
3. Open space tracts (exceptions allowed when siding to Chambers Rd, S. 19th Ave., Sable Blvd., 140th or 136th Avenue or side fencing on alley load Sites adjacent to an alley or alley parking areas) (See **Exhibit B** for approved locations).
4. All wing fencing adjacent to an open 3-rail fence – Type Open Rail (**Exhibit A**).
5. Side yards along public rights-of-way where noted on **Exhibit B**.
6. As may be specified by the ARC.

Welded wire mesh is required on all open three (3) rail fence and placed on the inside (homeowner) side of the fence. Wire mesh shall be 2 inch x 4 inch with a galvanized finish. Colored mesh is not permitted. This type of weld wire can be purchased at Home Depot, Lowe's or other building materials stores. "Chicken wire" and chain link is not permitted. Failure to install the correct galvanized weld wire is subject to removal.

A 6 foot high solid rough sawn stained cedar wood privacy fence per community specifications (Type A or B) is only permitted on single family detached and single family attached Sites in accordance with the Fencing Design and PUD Fourth Amendment (**Exhibit A**) and at the locations as noted on the Private On-Lot Fence Diagram (See **Exhibit B**):

1. Siding to a Street Right-of-Way – Type A
2. Wing Fencing adjacent to 6' privacy – Type A (See **Exhibit B** for allowed Type B style at locations on internal alley load Sites).
3. Rear Yard facing a side yard condition – Type A
4. Internal shared Site boundary lines – Type A or B.
5. On side or rear Site boundaries on Sites not adjacent to parks, open space, street right-of-way, or perimeter – Type A or B.
6. As may be specified by the ARC.

When a 6' privacy fence (Type A or B) intersects with an Open 3-Rail fence on a corner or internal side lot, the privacy fence must slope down to 4' height over a length of at least 8' before intersecting with the open rail fence (See **Exhibit A**).

All fencing will be installed in such a way that it does not alter or impede drainage.

Gates must be made from the same type of material and color as the fence from which it is attached and may be installed by the homeowner for access to the homeowner's rear or side yard. ARC approval is required for gate size and location. A homeowner will not be permitted to install a gate into a perimeter fence owned and maintained by the Metropolitan District without prior ARC approval that will be reviewed on a case-by-case basis.

Privacy fencing will not be allowed around swimming pools except to screen pool equipment. The homeowner is responsible for meeting any safety code requirements pertaining to swimming pool fencing.

Any other fences, such as interior fencing to screen patios, hot tubs, swimming pools, support

arbors, etc., will be of a type, finish, color, etc., compatible with the building architecture. This fencing must be located and detailed as part of the landscape plan for review by the ARC. ARC approval is required prior to installation.

Fencing at perimeters and common areas will be installed and maintained by the District. All fencing on private Sites will be installed by the builder or homeowner. All fences shall be stained with the type and color approved for the community (see **Exhibit A**). Maintenance for fencing, including regular staining, on private Sites shall be by the homeowner. Maintenance on fences on attached product shall be by the homeowner. Fences within dry utility easements may be subject to future relocation at owner expense to accommodate dry utility contractor needs or repairs.

SIGNAGE

All signage displayed by builders during the construction or marketing of homes will be subject to CCRs and the following:

Introduction

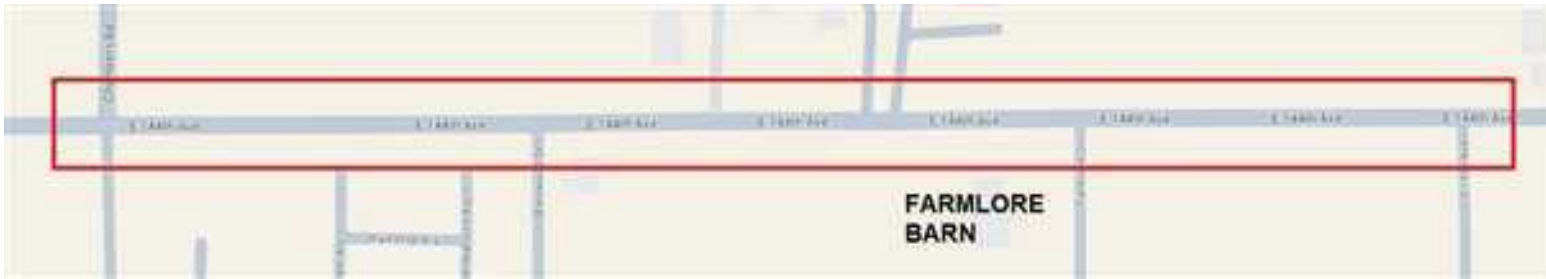
The following Builder Sign Guidelines have been created for Farmlore North in order to help maintain a clean and appealing community during the development and home construction phases and for its homeowners. These guidelines regulate the types and sizes of signs allowed to be displayed by builders within Farmlore North (Phase 1) and may be revised for future phases. All such signage within Farmlore North is subject to these guidelines. Please note these sign rules and regulations may not align with Brighton Article 9 – Sign Standards. See **Exhibit F** for approved sign samples.

Banners

Banners on homes or construction/sales trailers or Sites will not be allowed unless specifically approved by the Declarant for builders during new home sales. Banners are not allowed on fences.

Builder Directions Signs

Builder directional signs are **not allowed** within the Farmlore community or on 144th Avenue between Chambers Rd. and S. 19th Avenue, including all four corners of 144th Avenue & Chambers Rd., all corners of 144th Avenue and S. 19th Avenue and both side (north and south) of 144th Avenue (including the area shown inside the box on the map below). **On Friday, Saturday and Sunday only, each builder may have a maximum of 1 bootleg sign** with a maximum face size of 3 square feet, within the area outlined by the box below.



Contractor Signs

A maximum of two subcontractor signs per Site will be allowed at any one time that are not larger than 3 square feet per sign. Subcontractor signs for roofing, landscaping, painting, etc. must be removed within three days of completion of the work the subcontractor was performing.

Flags and Flagpoles

Approval is required for any freestanding flagpole except as approved by the Declarant for new home marketing as follows: One (1) flagpole with an American flag is allowed per model home complex. The maximum height allowed for flagpoles is 50 ft. and the flag size must be compatible with the size/height of the flagpole. Torn, frayed or damaged flags cannot be displayed.

Model Home/Sales Complex Signs

- One large builder sign with a maximum face size of 32 square feet **is allowed** per model home complex.
- If the sales office entrance for the model/sales complex is accessed from an alley, a second large builder sign with a maximum face size of 32 square feet **is allowed** adjacent to the alley entrance.
- One portable “sales office open” sign **is allowed** only when the sales office/model complex is open and may only be placed in front of the model home containing the sales office.
- One smaller model identification sign **is allowed** in front of each model home with a maximum face size of 6 square feet.
- A maximum of four (4) builder flutter flags **are allowed** per model complex.

Non-Model Home Builder Lots

- One sign with a maximum face size of 3 square feet **is allowed** per non-model home builder owned lot (available, private residence signs, etc.).

Real Estate Signs

Builders will be allowed to put up standard real estate “For Sale” or “For Rent” signs for the purpose of marketing a home. Real Estate signs may not have a face larger than 6 square feet and may not be higher than 5 feet. No more than two “For Sale” or “For Rent” signs will be allowed per Site. Builders may not attach such signs or other signs to any community owned fencing or property. “For Sale” or “For Rent” signs must be removed within three days of the sale or lease of the property.

Sales Trailer Wraps

Any wrap on a construction or sales trailer **needs developer approval prior to production and installation.**

ARC SUBMITTAL PLAN PROCESS AND REQUIREMENTS

The following information outlines the submittal plan process and is designed to be used as a tool prior to preparing a submittal for review by the ARC. If there are any questions regarding a submittal or the process, please contact the District Manager. **See Exhibit K for submittal forms.**

The Declarant under the CCRs shall appoint the ARC for Farmlore North until such time as the Declarant no longer owns any property within the Project Area or Annexable Area. Thereafter, the ARC will be appointed by the District.

Builder Submittals

All submittals will be made electronically unless hard copies are requested by the ARC. ARC will not review partial or incomplete submittals with the exception that master architectural plan submittals can be separate from master landscape and fencing submittal.

Prior to submittal to the City for Brighton DRC approval and prior to any construction, all Builders shall submit to ARC for review the following:

1. Completed copy of the Declarant's architectural checklist listing all plans and elevations and features to determine compliance with the City of Brighton's point system per the PUD.
2. Copies of all floorplans and exterior plans with a minimum of 3 different elevations per plan that are proposed for construction within the community and in compliance with the point system. Exterior materials shall be noted on each plan.
3. Exterior details, including light fixture locations, chimneys, exterior stairs, decks, railings, porch and deck columns and railings, etc.
4. At least 1 cross section of the structure indicating roof pitches and height.
5. Cutsheets of exterior lighting fixtures showing manufacturer, style, color and locations on each plan exterior elevation.
6. Master color board of color selections for stone, brick, roof, exterior body, trim, and accent colors that can be used on all plans and elevations.
7. Master landscape plan for each product type depicting all landscape and plant materials, quantities, and sizes of same for single family detached front or side yards.
8. Fencing diagram and fencing materials for all builder installed fencing in single family attached or detached areas.
9. Any additional information as may be requested by the ARC.
10. Each builder will be required to install the front detached tree lawn and tree for single family detached homes and greencourt landscaping for paired homes as designated on each approved Farmlore Landscape Plan for each Phase of development to ensure streetscape and private area compliance to City of Brighton approved plans.

All plans shall comply with these Design Standards, the Farmlore Design Guidelines approved by Brighton DRC 7.30.21, PUD, CCRs, and Brighton code requirements, and any amendments

thereto.

After ARC approval, builders will also be required to submit a site plan and all required plan and elevation information to the City of Brighton for Brighton DRC master plan approval prior to obtaining a building permit for each Site. The completed Declarant's checklist will also be required as part of the submittal to Brighton to assist the City with PUD point system compliance.

Each builder will be required to ensure all residences are sited on each Site to meet required setbacks and located outside of all easement areas.

All plans shall be submitted electronically unless otherwise requested by the ARC or District Manager and include the appropriate fee, all completed forms, and architectural or landscape plan information as requested on the Submittal Instructions Form located in this packet. ARC will not review partial or incomplete submittals:

Submittal Address for Builders Only

All complete submittals shall be submitted to:

Electronic Copies to Farmlore ARC:

To: Vintage Homes and Land

Joe@vhlco.com

Erika@vhlco.com

Subject Line: Farmlore ARC Submittal for (Builder Name)

Large files should be submitted via a file share link or other file share program.

Mailing address for ARC fees and architectural or landscape hard copies, if requested:

Farmlore, Ltd.

c/o Vintage Homes and Land, LLC

330 Shadycroft Drive

Littleton, CO 80120

Telephone - 303.346.6437

Submittal Review Fee and Timing

There will be a Design Review fee of \$300.00 per architectural plan for the initial review of architecture and site plans. For additional re-reviews, no additional review fee will be charged. When applicable, checks should be made payable to: Farmlore, Ltd. Refer to the application for other submittal fees.

Upon receipt of all required documents, the ARC will review the plans and **shall notify the applicant in writing of conditional approval within 60 days after its receipt of a completed application and all required information. Builders are also required to receive City of Brighton DRC approval for all master architectural plans and master landscaping plans.** After ARC conditional approval and written City of Brighton DRC approval is obtained, the ARC will issue final approval. Until ARC final approval has been granted, the builder is not authorized to commence construction of a residence, landscaping, fencing, or other improvements that require ARC approval. In the event of any disapproval or changes by the ARC of final submittal, re-submittal of plans will follow the same procedure as an original submittal with no additional fee.

Consistency of Decision and Enforcement

All decisions and approvals shall be made with the intent of preserving the ARC objectives, and the community's best interest. Therefore, the interpretation, level of enforcement, and the decisions of the ARC may vary with location and time. Past ARC approvals and decisions in no way indicate the result of future approvals and decisions. All Improvements to Property must be submitted on an individual basis and past approvals do not extend to new Improvements to Property. Enforcement by the ARC regarding a specific Improvement to Property in no way requires enforcement for another improvement, including identical improvements at different locations. Any non-compliance with these Design Guidelines, Design Standards, ARC requirements, CCRs, or Rules and Regulations may be enforced as allowed under the CCRs.

Additional Construction, Landscaping or Exterior Changes

Additional construction, landscaping, or ADU improvements or changes before, during, or after completion of an approved structure must be submitted to the ARC for approval prior to initiating such changes or additions.

Time Limitation on Approvals

Final approval of architectural plans is valid for 12 months. Construction of the home should begin within 3 months. If the home is not started within 12 months of plan approval then the plans are deemed to be withdrawn and a full re-application shall be necessary.

Work In Progress

The ARC or District Manager may inspect all work in progress and give notice of non-compliance. Absence of such inspection and notification during the construction period does not constitute either approval by the ARC of work in progress or compliance.

Waiver Review

The ARC reserves the right to waive or vary any of the procedures or standards set forth at its discretion for good cause shown.

DAMAGES

THE ARCHITECTURAL REVIEW COMMITTEE SHALL NOT BE LIABLE FOR DAMAGES TO ANYONE SUBMITTING PLANS TO THEM FOR APPROVAL, OR TO ANY OWNER BY REASON OF MISTAKE IN JUDGMENT, NEGLIGENCE, OR NONFEASANCE ARISING OUT OF OR IN CONNECTION WITH THE APPROVAL, DISAPPROVAL OR FAILURE TO APPROVE ANY PLANS OR SPECIFICATIONS. EVERY OWNER OR OTHER PERSON WHO SUBMITS PLANS TO THE ARCHITECTURAL REVIEW COMMITTEE FOR APPROVAL AGREES, BY SUBMITTAL OF SUCH PLANS AND SPECIFICATIONS, THAT HE/SHE WILL NOT BRING ACTION OR SUIT AGAINST THE ARCHITECTURAL REVIEW COMMITTEE OR ITS MEMBERS, AGENTS, CONSULTANTS, ETC. TO RECOVER DAMAGES.

FARMLORE NORTH CONSTRUCTION REGULATIONS

In order to ensure a safe, neat and orderly development site, the Declarant has established certain Construction and Safety regulations for Farmlore North.

Concrete Wash-out Area

Each builder shall have a designated and clearly posted concrete wash-out area for the Sites on which they are building as designated within the SWMP. Concrete washout locations must receive ARC approval and will not be permitted in right of way areas or on common area tracts. Concrete shall be washed out in the pit area only and not on the Site, tracking pad, street, storm drainage or other areas. The builder shall pay the costs to install, clean, and maintain the concrete wash out area as necessary.

Construction Operation Hours

Daily working hours for builders and their subcontractors for each construction site will be limited to 7:00 a.m. to 7:00 p.m. Monday through Sunday.

Construction Parking Areas

Construction crews will park only on the Site or tract they are working or in designated street parking areas. Under no circumstances will construction parking block or impede access to alleys and neighboring properties.

Construction Trailers and Storage Facilities

Any temporary structures including construction trailers or storage facilities used during the construction period must be approved by the ARC as to size, configuration and location prior to placement on any site within Farmlore North. If approved, the structure must be removed upon issuance of the certificate of occupancy. Temporary construction trailers are limited to 400 sq. ft. and will only be used for conducting construction related business during construction operation hours or for storage of site related construction equipment and materials.

Erosion Control/Stormwater Management

All builders shall be responsible for erosion control on their Sites during construction and landscaping and homeowners during landscaping installation. This includes having the required Storm Water Permit, a Storm Water Management Plans (SWMP) and Best Management Practices (BMP) that shall include at a minimum silt fence, straw bales or wattles, vehicle tracking pads, the cleaning and sweeping of streets adjacent to the Site during the construction or landscaping period, installation of all required BMP's to prevent erosion into the drainage swales or storm water facilities as well as weed mowing on the property. Builders and homeowners (or their landscape contractors) shall promptly clean their property and streets and shall maintain the improvements and all portions of the property in good condition and repair at all times.

Homeowners should ensure that the landscape installation contractor is aware that the homeowner is personally responsible for any erosion control that may be necessary to protect the Site, adjacent Sites, common areas, public streets (including right of way), detention ponds and other storm water facilities from silt runoff and damage due to landscaping. The stockpiling of rock, mulch, or dirt on the streets during construction and landscaping is prohibited. The City of Brighton, State of

Colorado, ARC and/or the Declarant may assess fines for non-compliance of erosion control measures.

The Declarant WILL NOT be held responsible for individual Storm Water Management and Best Management Practice violations. Each builder and/or homeowner will be held accountable for any costs incurred by the Declarant to remedy enforcement violations issued by the City of Brighton, the State of Colorado, or the EPA.

Excavation

Builders shall be responsible for removal of any excess excavation material from the site. The materials will not be placed in common areas, roads or on other Sites. Excavation shall occur on the Site only.

Leasing of Units

Refer to **Exhibit J** for Resolution of Adopted Leasing Rules and Regulations

Maintenance and Weeds

All Sites, whether vacant, occupied, or those with improvements under construction, shall be kept in a clean and sightly condition and maintained in a condition free of all rubbish and debris. Weeds shall not be permitted to overgrow at any time and shall be mowed to a maximum height of 5 inches. All owners shall comply with the City of Brighton, Adams County, and State regulations for noxious weed control.

Miscellaneous and General Practices Prohibited

The following practices will not be allowed:

- Allowing concrete suppliers or contractors to clean their equipment outside a designated concrete washout area or on adjacent development or private property.
- Speeding within the community
- Bringing any animals or pets onto the construction sites.
- Playing a radio, tape, CD player or any musical device at volume levels that can be heard by neighbors or is considered a nuisance.

OSHA

Each builder and their subcontractors shall comply with and strictly observe all applicable local, state & federal safety regulations & guidelines relating to occupational safety and health.

Portable Toilets

The builder is responsible for providing a portable toilet on each home site under construction or as may be designated within their SWMP plan and paying the costs thereof. Toilets shall receive regular maintenance and be located on the Site, away from existing occupied residences. Portable toilets shall not be located on the street.

Signs

Each builder shall submit for Declarant and ARC approval any marketing sign for use at the community entrance, model homes, sales offices or on individual Site or home sales within Farmlore North. Signage shall be approved by the Declarant and ARC. Builders may erect their individual company sign at model home areas where they are building within the community. All

Site and builder identification signs are to be uniformly designed. Builders will also be able to place a temporary “Available” sign on Sites where homes are under construction and a temporary “Private Residence” sign on occupied homes on the same street with active construction to distinguish available homes from those that are sold. These temporary signs can have a sign face no larger than 3 square feet.

All signs must comply with the City of Brighton DRC approved Farmlore Design Guidelines. All builders building within Farmlore North shall be entitled to appropriate signage, on an equitable basis, to market Sites and homes on which they are building. Under no circumstances shall spray painted signs on untreated lumber be used as Site identification signs during the construction period.

Signs such as typical real estate, lending institution, architect, builder, subs, and supplier signs, must be limited to two signs per Site at a given time not to exceed 3 square feet. These signs shall not be erected until work is being done on the Site and they are to be removed within three days of work being completed. See section on Signage in the Builder approved Design Standards for details on allowed model home complex signage.

Storage of Materials and Equipment

Builders and their subcontractors are permitted to store construction materials and equipment only on the building site during the construction period. Materials shall be neatly stacked and properly covered and secured. Storage of materials or construction equipment outside the building site will be done only with approval of the Declarant.

Builders and their subcontractors will not disturb, damage, or trespass on other Sites, detention ponds, or the open space. Should any such damage occur, it shall be immediately restored and repaired at the offender's expense.

Tracking Pads, Debris and Trash Removal

During the construction period, each construction site shall be kept neat and shall be properly policed to prevent it from becoming a public eyesore. **Each construction site shall install, prior to excavation of the house foundation, a vehicle tracking pad of sufficient size and appropriate materials from the paved road in accordance with builder's SWMP plan. The tracking pad shall be properly maintained at all times.**

Dirt, mud or debris that results from any activity on the construction site shall be promptly removed from public roads, open spaces and driveways. If debris is not removed after reasonable notice, the Builder will be charged for its removal and subject to any fines that may be imposed to the Declarant.

Builders and their subcontractors must maintain a trash receptacle of sufficient size at builder's expense. Trash receptacles are not permitted on the street. Trash and debris shall be removed from each construction site as often as necessary. Lightweight material, packaging, insulation, contractor lunch containers, and other items shall be covered or weighted down to prevent wind from blowing such material off each construction site. Builders will be responsible for the cleanup

of blown trash to neighboring sites and throughout the community that is generated from their building site. Builders and their subcontractors are prohibited from dumping, burying, or burning trash anywhere within the community.

Utilities

Builders, their subcontractors and homeowners must call for utility locates at least 3 business days before digging, grading or excavating within Farmlore North. In making improvements to property, Owners are responsible for locating all water, sewer, gas, electrical, cable television, or other utility lines or easements. Owners should not construct any improvements over such easements without the consent of the utility involved, and Owners will be responsible for any damage to any utility lines. The utility notification center of Colorado's phone number is **1.800.922.1987**.

Failure to Comply

It benefits all builders and future homeowners in the Farmlore North community to have established Design Standards and Rules and Regulations to promote the common good and enjoyment of each future homeowner's investment, protect property values, and maintain a pleasant living environment. Pursuant to the CCR's, failure to adhere to the Design Standards, CCRs, and the Rules and Regulations as outlined in these documents may result in monetary penalties and fines. Furthermore, the builder may be held responsible for costs incurred by the District or ARC to resolve the issue, such as, but not limited to, legal expenses.

Failure to comply with the CCRs, Design Standards, the Rules and Regulations, or other governing documents of the Community shall be subject to the enforcement and collection policies of the District for Farmlore North.

PLEASE REFER TO THE DISTRICT'S POLICIES FOR:

- Covenant and Rule Enforcement and Fines
- Collection of Unpaid Assessments, Fees, and Other Charges
- Resolution of Operations Fee – District No. 4
- Resolution of Adopted Leasing Rules and Regulations – District No. 4

All Policies can be located on the District's website at: TheLakesMetroDistricts.com.

EXHIBITS

Exhibit A – Fence Design and PUD Fourth Amendment Chart

Exhibit B – On Lot Fence Master Plan

Exhibit C – Low Water Plant List from Farmlore PUD and City of Brighton

Exhibit D – Xeric Tree Lawn Exhibit – Single Family Detached Alley Load (Taylor Morrison Phase 1)

Exhibit E – Xeric Tree Lawn Exhibit – Single Family Attached Alley Load (KB Homes Phase 1)

Exhibit F - Xeric Front Yard Exhibit – Single Family Detached Alley Load (Taylor Morrison Phase 1)

Exhibit G - Xeric Front Yard Exhibit – Alley Load Paired Homes (KB Villas)

Exhibit H – Xeric Front Yard Exhibit – Single Family Detached

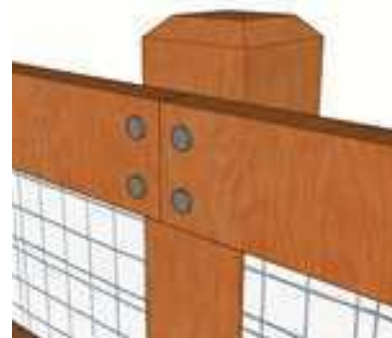
Exhibit I – Builder Model Complex Signage Sample

Exhibit J – Resolution Adopting Leasing Rules and Regulations – District No. 4

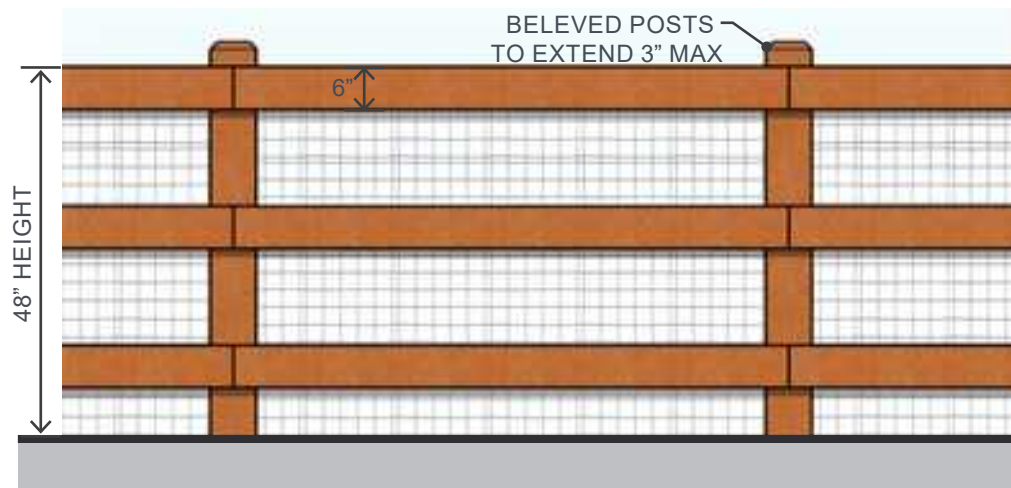
Exhibit K – ARC Submittal Forms

a. OPEN 3-RAIL FENCING DETAILS

CONNECTION (N.T.S)



3-1/2" Galvanized Ring Shank Nails
RAIL & POST (N.T.S.)



THREE RAILS & BEVELED POST

MATERIALS

Allowable post materials include:

- a. Wood Timber: Rough Sawn Cedar. 6" x 6" post dimension. Top post beveled 45 degrees, cut 1" on all sides.
- b. Color: Sable; SC-135D Behr Water-Based Solid Stain - 2 Coats

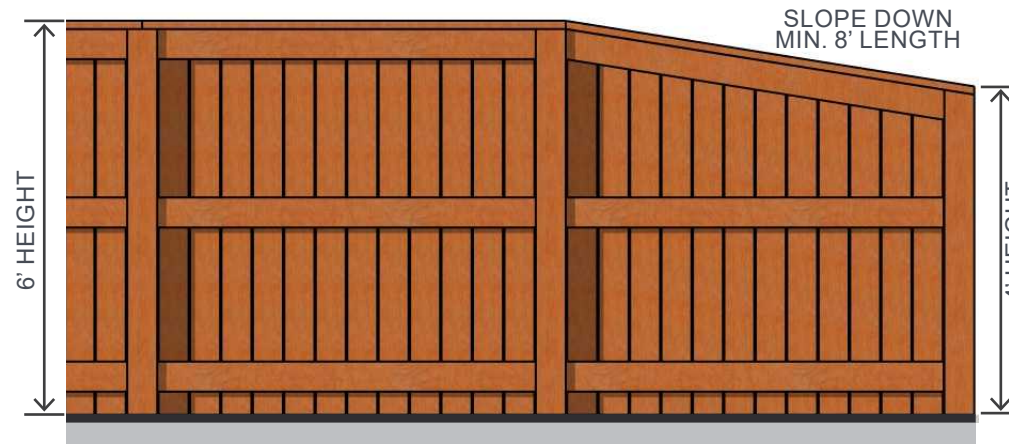
Allowable rail materials include:

- c. Wood Timber: Rough Sawn Cedar. 2" x 6" x 8' dimension rails.
- d. Construction: 3-1/2" Galvanized Ring Shank Nails. Wire Mesh required on all open three rail fencing.
- e. Color: Sable; SC-135D Behr Water-Based Solid Stain - 2 Coats

b. 6' PRIVACY FENCING DETAILS - TYPE A
FRONT ELEVATION (N.T.S.) - TO FACE ROW



REAR ELEVATION (N.T.S.) - TO FACE LOT



MATERIALS

Allowable post materials include:

- a. Wood Timber: Rough sawn cedar. 4" x 6" minimum post size. 6" Side must face the street.
- b. Color: Sable; ST-135 Behr Water-Based Semi-transparent Stain - 2 Coats.

Allowable picket materials include:

- c. Wood Timber: Rough Sawn cedar. 1" x 6" picket size.
- d. Color: Sable; ST-135 Behr Water-Based Semi-transparent Stain - 2 Coats
- e. Construction: Pickets attached to 2" x 4" rails (rails facing homeowner side).
- f. 1" x 4" Top Facia in front of Pickets (Facia facing Street Side).
- g. 2" x 6" Top Cap Centered along Posts.
- h. Wing fencing to match perimeter fencing.

c. 6' INTERNAL PRIVACY FENCING DETAILS - TYPE B



6' PRIVACY FENCE WITH VERTICAL PICKETS (ORIENTATION TO BE DETERMINED BY BUILDER OR HOMEOWNER.)

MATERIALS

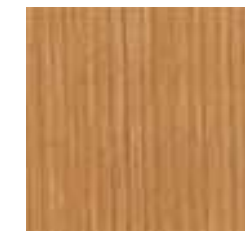
Allowable post materials include:

- a. Wood Timber: Rough sawn cedar. 4" x 4" or 4" x 6" post size.
- b. Color: Sable; ST-135 Behr Water-Based Semi-transparent Stain - 2 Coats.

Allowable picket materials include:

- c. Wood Timber: Rough Sawn cedar. 1" x 6" dimension. (Square or Beveled top allowed.)
- d. Color: Sable; ST-135 Behr Water-Based Semi-transparent Stain - 2 Coats.
- e. Construction: Pickets attached to 2" x 4" rails (Orientation to be determined by builder or homeowner).

STANDARD MATERIALS



WOOD - ROUGH SAWN CEDAR
(WITH STAIN)



WELDED WIRE MESH
(REQUIRED)
2 X 4", GALVANIZED

BRIGHTON LAKES PUD FOURTH AMENDMENT

(TO BE KNOWN AS FARMLORE)

PART OF THE SOUTHEAST QUARTER OF SECTION 19 AND THE NORTHWEST QUARTER AND SOUTHWEST QUARTER OF SECTION 20
TOWNSHIP 1 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF BRIGHTON, COUNTY OF ADAMS, STATE OF COLORADO

K. Fencing

General Design & Objectives

1. This PUD fourth amendment supersedes all fencing design standards under Section K in previous PUD and PUD amendments.
2. A consistent fencing design is required throughout Brighton Lakes (Farmlore).
3. Final fencing design and fencing plan shall be provided at the time of Final Landscape Plan.
4. Fencing layout must meet City Sight Triangle requirements.
5. Overall perimeter condition fencing lengths over three hundred (300) feet must provide a break of at least thirty (30) feet in length. Breaks may include rights-of-way, pedestrian connections, opaque screens such as hedges, or dense plantings areas.
6. ARC review and approval is required for all front yard fencing. ARC review and approval is also required for side yard fencing adjacent to a right-of-way.

Definitions

1. Wing Fence - defined as a section of fencing that ties into the side of a unit perpendicularly, typically setback from the front facade.
2. Front Side Yard Condition - defined as a section of rear fencing occurring past the front façade of the adjacent lot when a rear lot backs to the side of another lot. See #8 in Figure A.
3. Single-Family Attached (SFA) - Per the approved 2019 PUD First-Amendment, Single-Family Attached refers to all paired homes & townhomes.

CONDITION	FRONT LOADED SINGLE-FAMILY DETACHED FENCING STANDARDS	ALLEY LOADED SFD & SFA FENCING STANDARDS
FRONT*	1. If approved by ARC, all front yard fencing when adjacent to rights-of-way shall be setback a minimum of one and one-half (1.5) feet from the edge of a sidewalk.*	A. If approved by ARC, all front yard fencing when adjacent to rights-of-way shall be setback a minimum of one and one-half (1.5) feet from the edge of a sidewalk.*
SIDE	2. TYPE A side adjacent to right-of-way, or Open 3-rail fence when adjacent to right-of-way when approved by ARC. 3. When a 6' Privacy fence (TYPE A or B) intersects with an Open 3-rail fence on a corner or internal side lot, the privacy fence must slope down to 4' height over a length of at least 8' before intersecting. 4. All side yard fencing when adjacent to rights-of-way shall be setback a minimum of three (3) feet from the edge of a sidewalk.	B. TYPE A side fencing required when adjacent to a public right-of-way or when adjacent to a required TYPE A wing fence. C. TYPE A or B fencing allowed when adjacent to an alley or alley parking. D. TYPE A or B fence for all internal shared side lot lines. E. All side yard fencing when adjacent to rights-of-way shall be setback a minimum of one and one-half (1.5) feet from the edge of a sidewalk. F. See "L" below for exceptions for side fencing adjacent to landscaping/open space tracts.
WING	5. TYPE A wing fencing required when adjacent to a 6' privacy fence. 6. Open 3 Rail wing fencing required when adjacent to an open 3-rail fence. 7. All wing fencing shall be setback a minimum of 1' from the front façades.	G. TYPE A wing fencing required when facing a public right-of-way when not adjacent to a required open 3-rail side fence. H. TYPE A or B wing fencing required when adjacent to shared 6' privacy fences or when adjacent to a 6' side fence on an alley. I. Open 3-rail wing fencing required when adjacent to an open 3-rail side fence. J. All wing fencing shall be setback a minimum of 1' from the front and rear façades. K. Rear fencing is not allowed in alley loaded conditions.
SIDE & REAR	8. TYPE A or Open 3-rail fence when rear yard adjacent to Front Side Yard Condition. 9. TYPE A or B fence for all internal shared side or rear lot lines.	
OPEN SPACE, PARK, & LANDSCAPE TRACTS	10. Open 3 Rail fence required on lots siding or backing to Open Space, Parks, or Landscape Tracts. Exceptions allowed when siding to Chambers, South 19 th Avenue, Sable, 140 th Avenue, or 136 th Avenue.**	L. Open 3 Rail fence required on lots siding to Open Space, Parks, or Landscape Tracts. Exceptions allowed when siding to Chambers, South 19 th Avenue, Sable, 140 th Avenue, and when side fencing along a landscaping/open space tract that is adjacent to a private alley or alley parking. Type A or B fencing is allowed when the landscaping/open space tract is adjacent to a private alley or alley parking.
NOTES:	Refer to Community Design Standards for additional fencing information for all fence conditions. *If approved by ARC, fencing may extend beyond the front façade. Front yard fencing may be vinyl or wood (any front yard fence may include wire mesh) with horizontal rails or vertical pickets with a maximum height of 48". ** If approved by ARC, Type A fencing is allowed for lots siding to Chambers, South 19 th Avenue, Sable, 140 th Avenue, or 136 th Avenue.	

FIGURE A - FRONT LOADED SINGLE-FAMILY DETACHED FENCING CONDITIONS

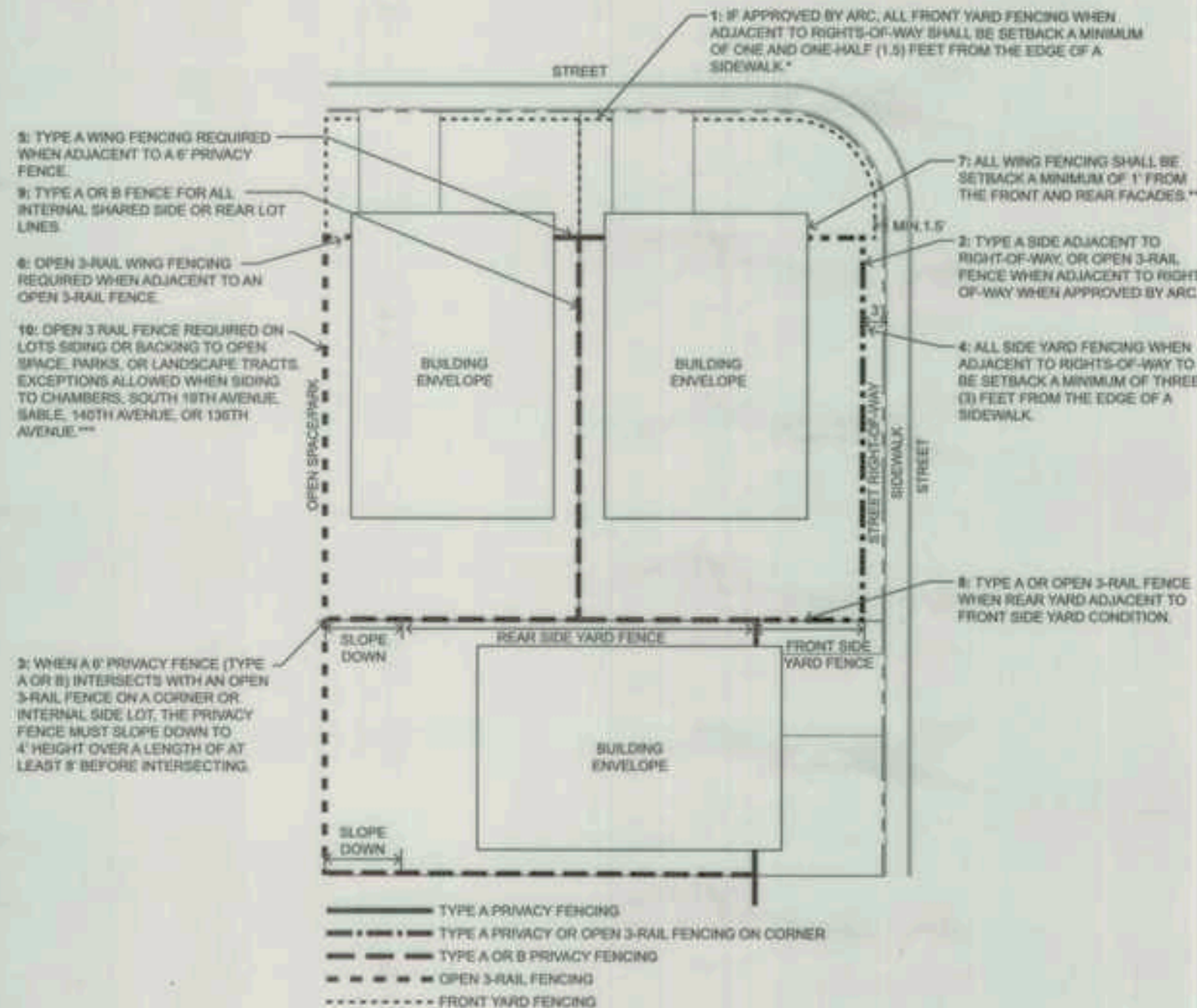
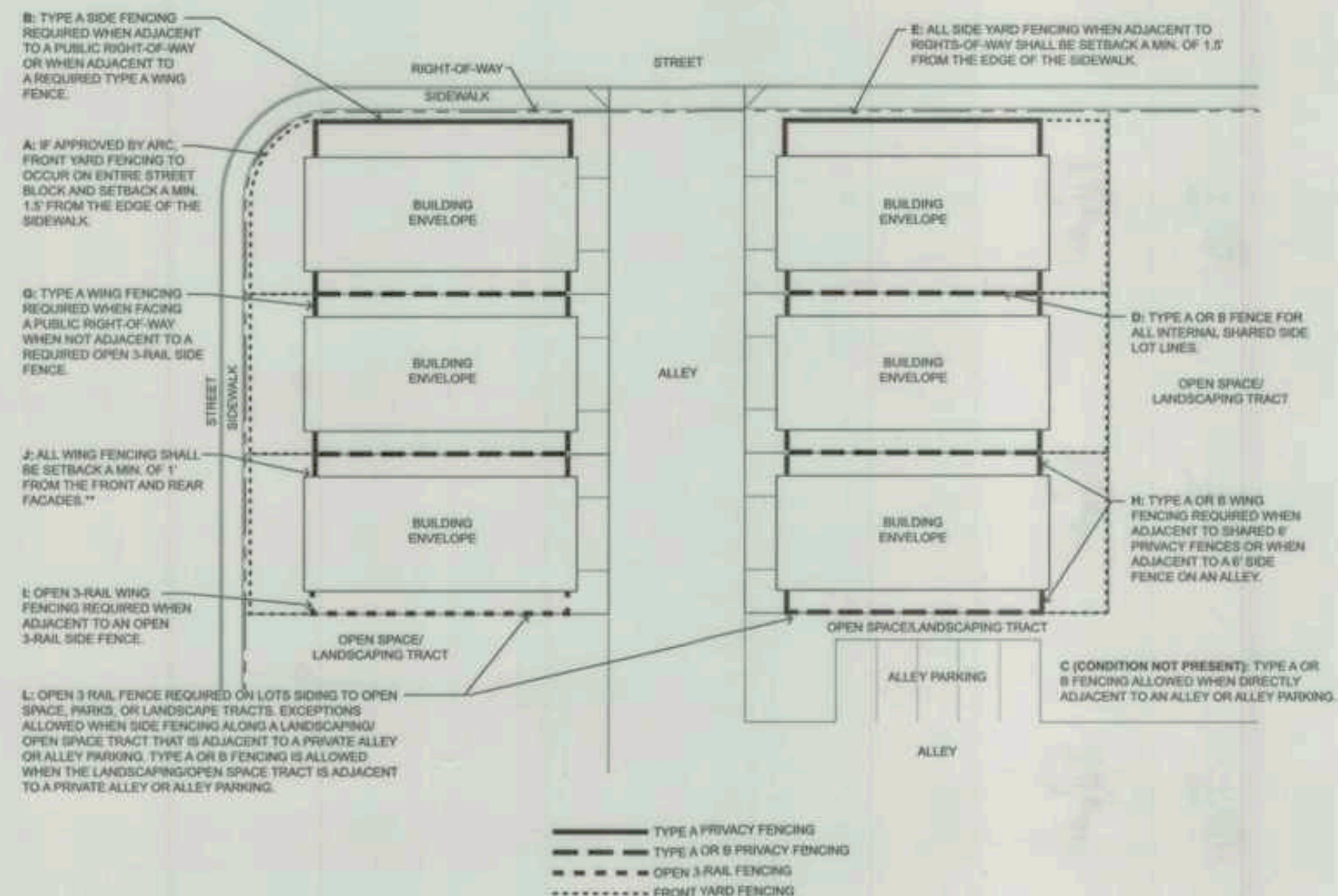
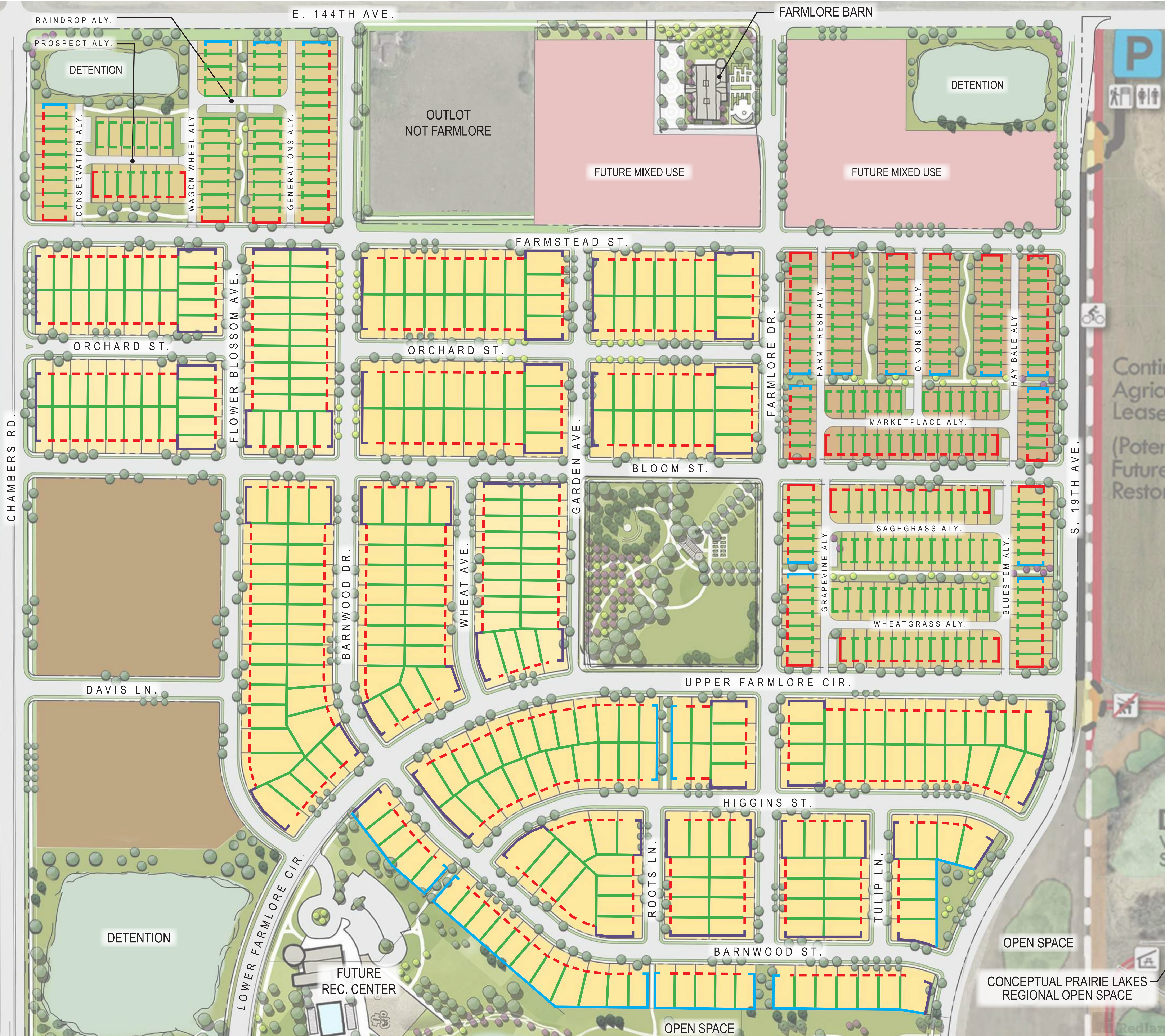


FIGURE B - ALLEY LOADED SINGLE FAMILY DETACHED AND SINGLE-FAMILY ATTACHED FENCING CONDITIONS



DATE	NO.	REVISION	DATE	BY
10.27.2023	1	Final Submittal		
03.01.2024	2	Second Amendment		
05.21.2024	3	Third Amendment Submittal		
06.18.2024	4	Third Amend. 2nd Submittal		
07.30.2024	5	Third Amend. 3rd Submittal		
08.21.2024	6	Third Amend. 4th Submittal		
07.01.2025	7	Fourth Amend. 1st Submittal		
07.20.2025	8	Fourth Amend. 2nd Submittal		
08.19.2025	9	Fourth Amend. 3rd Submittal		

BRIGHTON LAKES
PUD - FOURTH AMENDMENT
FENCING DEVELOPMENT STANDARDS



LEGEND

	SFD TRADITIONAL
	SFD TRADITIONAL
	SFD ALLEY
	PAIRED HOMES
	TOWNHOMES (PROPOSED)
	MIXED USE
	FUTURE SCHOOL
	PARKS & OPEN SPACE
	OPEN 3-RAIL FENCE
	WING FENCE - OPEN 3-RAIL
	PRIVACY FENCE - TYPE A
	WING FENCE - TYPE A
	PRIVACY FENCE - TYPE A OR B
	WING FENCE - TYPE A OR B
	EITHER OPEN 3-RAIL OR TYPE A (REQUIRES ARC APPROVAL)
	WING FENCE - EITHER OPEN 3-RAIL OR TYPE A (REQUIRES ARC APPROVAL)

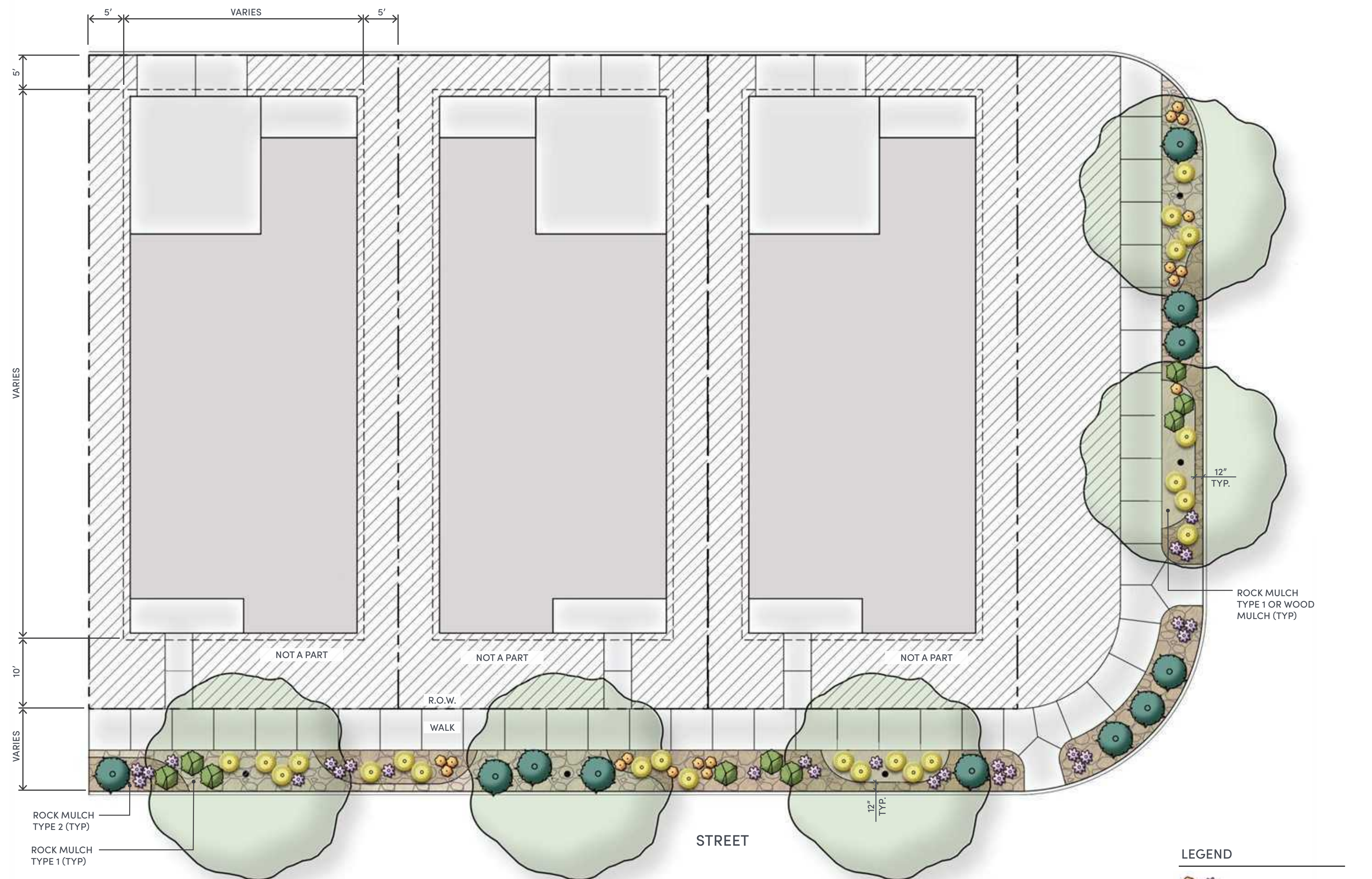
NOTES:

WHEN A 6' PRIVACY FENCE INTERSECTS WITH A OPEN 3-RAIL FENCE ON A CORNER OR INTERNAL SIDE LOT, THE PRIVACY FENCE MUST SLOPE DOWN TO 4' HEIGHT OVER AN 8' LENGTH BEFORE INTERSECTING (REMAIN DESIGN STYLE).

FENCING PLAN IS GRAPHIC IN NATURE. BUILDER TO PROVIDE SITE SPECIFIC FENCING PLAN FOR FINAL ARC APPROVAL. BUILDER IS RESPONSIBLE TO ENSURE FENCING COMPLIES WITH THE PUD 4TH AMENDMENT AND ANY SUBSEQUENT AMENDMENTS.

EXHIBIT D

Xeric Tree Lawn - SFD Alley Load



- LEGEND**
- PERENNIALS
 - GROUNDCOVER
 - SHRUBS
 - GRASSES
 - ROCK MULCH TYPE 1
 - ROCK MULCH TYPE 2
 - ROCK MULCH TYPE 1 OR WOOD MULCH

PLANT SCHEDULE	
GENUS	SPECIES
PERENNIALS	
Achillea sp.	Yarrow
Centranthus ruber	Red Valerian
Centranthus ruber 'Albus'	White Jupiter's Beard
Eriogonum 'Kannah Creek'	Sulfur Flower
Nepeta 'Walker's Low'	Little Trudy Catmint
Tanacetum densum ssp. Amani	Partridge Feather
Teucrium chamaedrys	Germander
EVERGREEN GROUNDCOVERS	
Arctostaphylos x 'Panchito'	Panchito Manzanita
Arctostaphylos uva-ursi 'Massachusetts'	Kinnikinnick
Juniperus horizontalis 'Blue Chip'	Blue Chip Juniper
Mahonia repens	Oregon Grape
Tanacetum densum ssp. Amani	Partridge Feather
Vinca minor	Lesser Periwinkle
LOW TO MEDIUM SHRUBS (2' - 4' HIGH)	
Amorpha nana	Dwarf Leadplant
Caryopteris x clandonensis 'Dark Knight'	Dark Knight Spirea
Hesperaloe parviflora	Red False Yucca
Ribes alpinum 'Green Mound'	Green Mound Currant
Ribes uva-crispa 'Comanche'	Comanche Gooseberry
GRASSES	
Bouteloua gracilis 'Blond Ambition'	Blond Ambition Blue Grama
Bouteloua curtipendula	Sideoats Gramma
Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass
Helictotrichon sempervirens	Blue Avena Grass
Panicum virgatum 'Heavy Metal'	Blue Switchgrass
Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass
Schizachyrium scoparium	Little Bluestem
Sporobolus heterolepis	Prairie Dropseed

LOT AREA	STANDARD SINGLE FAMILY DETACHED LOTS				
	TREES	IRRIGATED LANDSCAPE			
	Shade Tree	Turf	Shrubs or Groundcover	Perennials	Grasses
Tree Lawn (Front Yard)	1	N.P.	3 (at least 1 must be an evergreen groundcover)	9	5
Tree Lawn (Corner Condition)	1 per 40 L.F.	N.P.	3 per 60 L.F.	9 per 60 L.F.	3 per 60 L.F.

- NOTES:**
- Quantities listed are minimum requirements.
 - Living plant material shall cover minimum of 50% of tree lawns at installation and have 75% minimum coverage at mature growth.
 - Plants shall be drought tolerant and chosen from the Plant Schedule on this sheet.
 - On the street side of the tree lawn, a minimum 12" border of rock mulch is required along the curb to act as a step off.
 - Rock or wood mulch is allowed. Rock mulch types must be perceivably different from variety in color and size, i.e. 1 1/4 inch river rock and 3" cobble; or 1 1/4 inch river rock and wood mulch.
 - Tree lawn landscape planting palette shall tie in with adjacent front yard landscape palette.
 - Xeriscape in the Right-of-Way tree lawn area is permitted only if originally installed by the Builder and if used on an entire street block.

Redland
WHERE GREAT PLACES BEGIN
770.283.6783 Office
1500 West Canal Court
Littleton, Colorado 80120



NOT FOR CONSTRUCTION

PROJECT NO.	PROJECT NO.	DATE	NO.	NOTES
		06/24/24		

FARMLORE
TREE LAWN TYPICALS
SINGLE FAMILY DETACHED - ALLEY LOADED

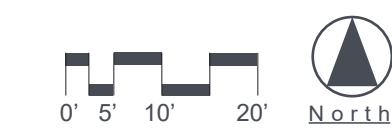
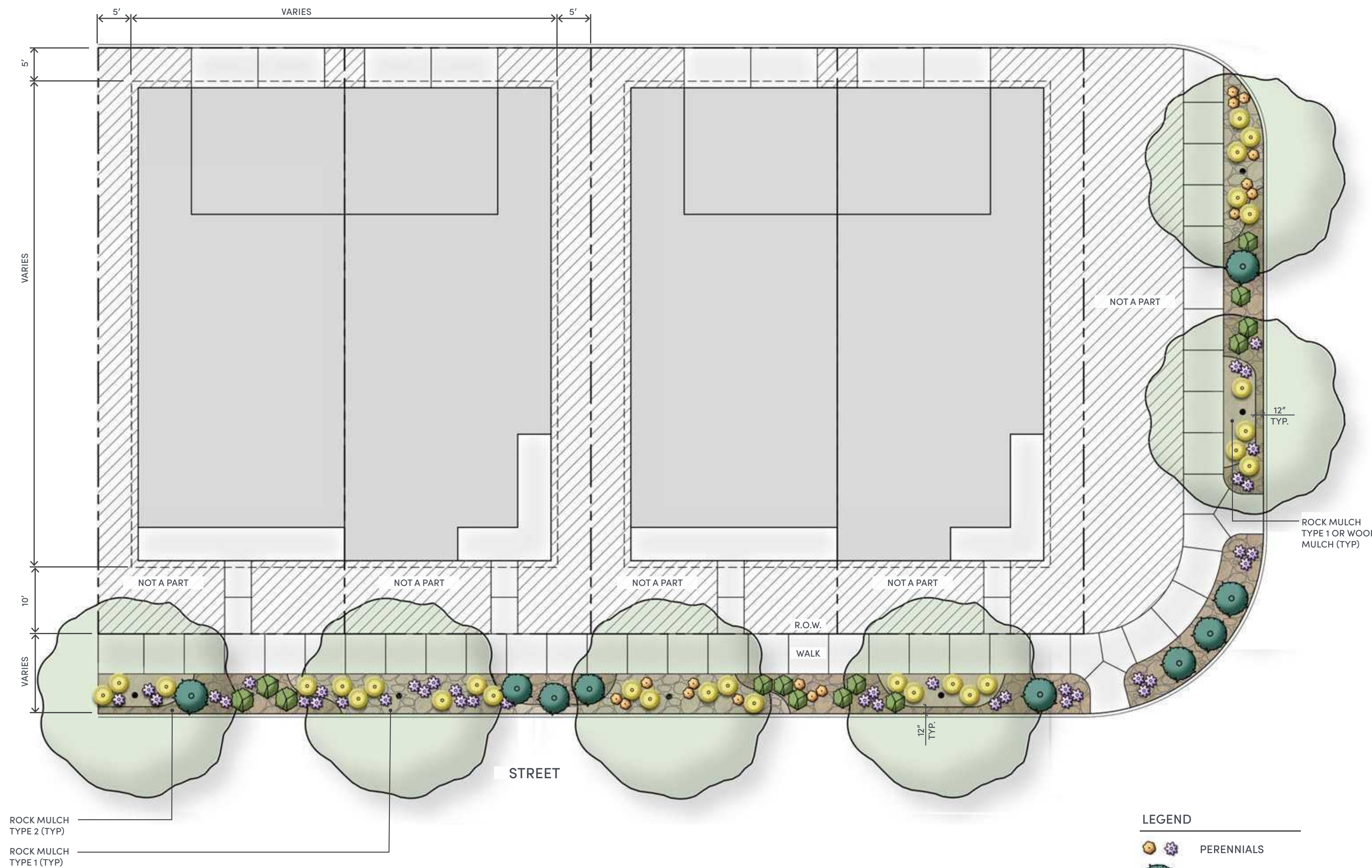


EXHIBIT E

Xeric Tree Lawn - SFA Alley Loaded



- LEGEND**
- PERENNIALS
 - GROUNDCOVER
 - SHRUBS
 - GRASSES
 - ROCK MULCH TYPE 1
 - ROCK MULCH TYPE 2
 - ROCK MULCH TYPE 1 OR WOOD MULCH

PLANT SCHEDULE	
GENUS	SPECIES
PERENNIALS	
Achillea sp.	Yarrow
Centranthus ruber	Red Valerian
Centranthus ruber 'Albus'	White Jupiter's Beard
Eriogonum 'Kannah Creek'	Sulfur Flower
Nepeta 'Walker's Low'	Little Trudy Catmint
Tanacetum densum ssp. Amani	Partridge Feather
Teucrium chamaedrys	Germander
EVERGREEN GROUNDCOVERS	
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Mahonia repens	Oregon Grape
Tanacetum densum ssp. Amani	Partridge Feather
Vinca minor	Lesser Periwinkle
LOW TO MEDIUM SHRUBS (2' - 4' HIGH)	
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Caryopteris x clandonensis 'Dark Knight'	Dark Knight Spirea
Hesperaloe parviflora	Red False Yucca
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Ribes uva-crispa 'Comanche'	Comanche Gooseberry
GRASSES	
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Bouteloua curtipendula	Sideoats Gramma
Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass
Helictotrichon sempervirens	Blue Avena Grass
Panicum virgatum 'Heavy Metal'	Blue Switchgrass
Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass
Schizachyrium scoparium	Little Bluestem
Sporobolus heterolepis	Prairie Dropseed

LOT AREA	STANDARD SINGLE FAMILY DETACHED LOTS				
	TREES	IRRIGATED LANDSCAPE			
	Shade Tree	Turf	Shrubs or Groundcover	Perennials	Grasses
Tree Lawn (Front Yard)	1	N.P.	3 (at least 1 must be an evergreen groundcover)	9	5
Tree Lawn (Corner Condition)	1 per 40 L.F.	N.P.	3 per 60 L.F.	9 per 60 L.F.	3 per 60 L.F.

N.P. = Not Permitted

NOTES:

- Quantities listed are minimum requirements.
- Living plant material shall cover minimum of 50% of tree lawns at installation and have 75% minimum coverage at mature growth.
- Plants shall be drought tolerant and chosen from the Plant Schedule on this sheet.
- On the street side of the tree lawn, a minimum 12" border of rock mulch is required along the curb to act as a step off.
- Rock or wood mulch is allowed. Rock mulch types must be perceivably different from variety in color and size, i.e. 1 1/4 inch river rock and 3" cobble; or 1 1/4 inch river rock and wood mulch.
- Tree lawn landscape planting palette shall tie in with adjacent front yard landscape palette.
- Xeriscape in the Right-of-Way tree lawn area is permitted only if originally installed by the Builder and if used on an entire street block.

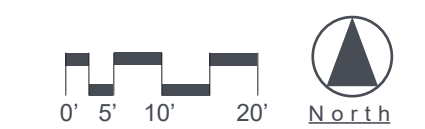
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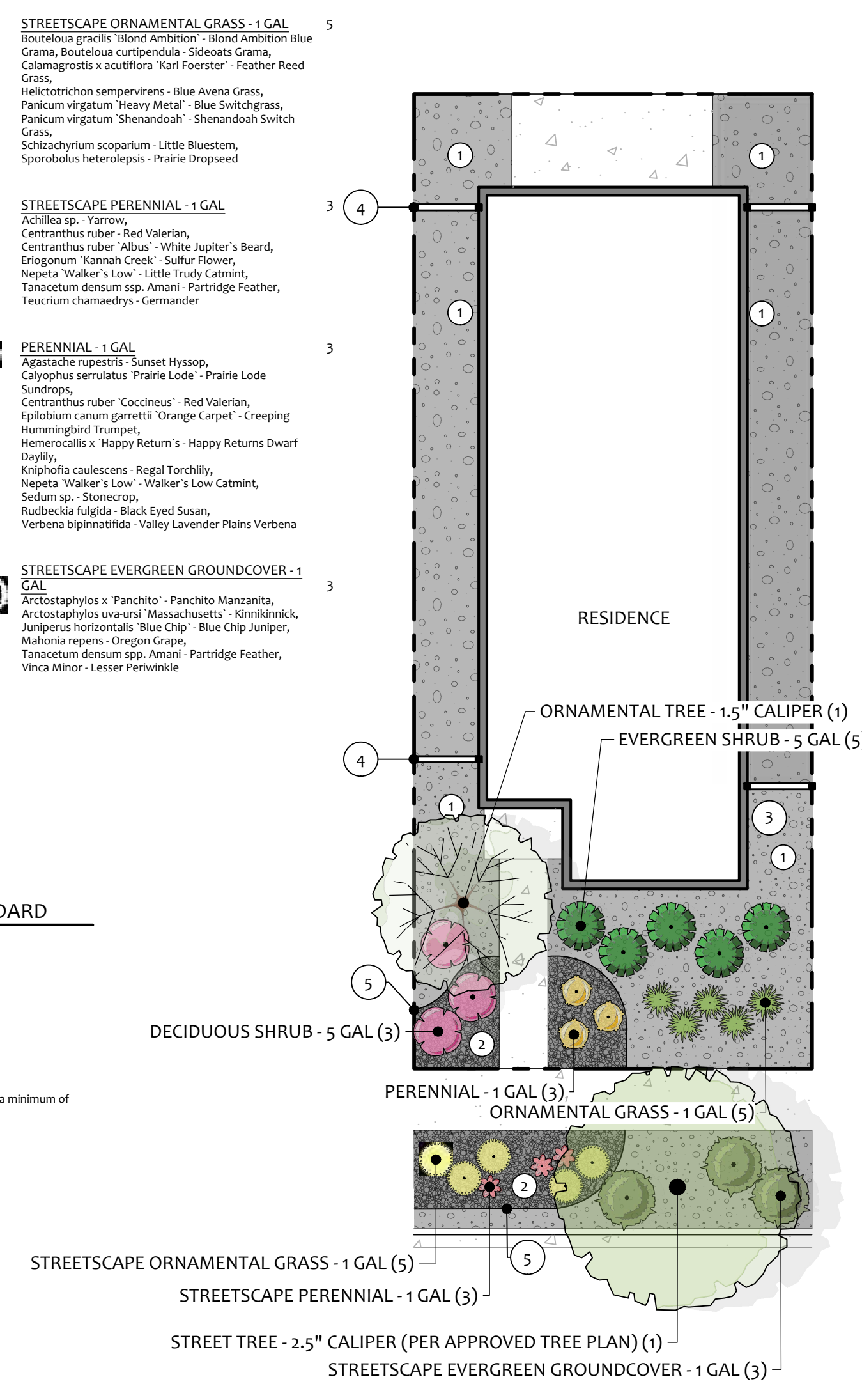
PROJECT NO.	PROJECT NO.	NOTES
DATE	NO.	
06/24/24		

FARMLORE
TREE LAWN TYPICALS
SINGLE FAMILY ATTACHED - ALLEY LOADED



PLANT SCHEDULE STANDARD

	ORNAMENTAL TREE - 1.5" CALIPER Acer latarium - Hot Wings Maple Crataegus virtus - Winter King - Winter King Washington Hawthorn Forestiera neomexicana - Happy Boy - New Mexico Privet Syringa reticulata - Japanese Tree Lilac	1
	STREET TREE - 2.5" CALIPER (PER APPROVED TREE PLAN) Celtis occidentalis - Western Hackberry Catalpa speciosa - Western Catalpa Gleditsia triacanthos inermis - Thornless Common Honeylocust Koeleria paniculata - Golden Raintree Quercus alba x robur - Crimson Spire Oak Quercus muhlenbergii - Chickagon Oak Tilia americana - American Linden	1
	DECIDUOUS SHRUB - 5 GAL Buddleia alternifolia - Argentea - Alternate-Leaf Butterfly Bush Buddleia Podaras #8 - Flutterby Petite Blue Heaven - Flutterby Petite Blue Heaven Butterfly Bush Caryopteris clandensis - Dark Knight - Dark Knight Blue Sundrop Mist Spirea Fallopia paradoxa - Apache Plume Prunus besseyi - Pawnee Buttes - Pawnee Buttes Sand Cherry Rhus aromatica - Gro-Low Sumac Ribes alpinum - Green Mound - Green Mound Currant Ribes sanguineum - King Edward VII - Red Flowering Currant Rosa x KnockOut - Knockout Rose Syringa x Bloomerang - Purple Blooming Lilac Spiraea japonica - Tracy - PPAF - Double Play Big Bang Spirea	3
	EVERGREEN SHRUB - 5 GAL Arctostaphylos x coloradensis - Panchito Manzanita Euonymus fortunei - Coloratus - Wintercreeper Hesperaloe parviflora - Red False Yucca Juniperus communis - Alpine Carpet - Alpine Carpet Juniper Pinus mugo - Slowmound - Slowmound Dwarf Mugo Pine Pinus mugo - Valley Cushion - Valley Cushion Mugo Pine	5
	ORNAMENTAL GRASS - 1 GAL Andropogon gerardii - Windwalker Big Bluestem Bouteloua gracilis - Blond Ambition - Blonde Ambition Grama Grass Helictotrichon sempervirens - Blue Avena Grass Muhlenbergia reverchonii - Undaunted - Undaunted Ruby Muly Grass Pennisetum orientale - Karley Rose - Pink Oriental Fountain Grass	5

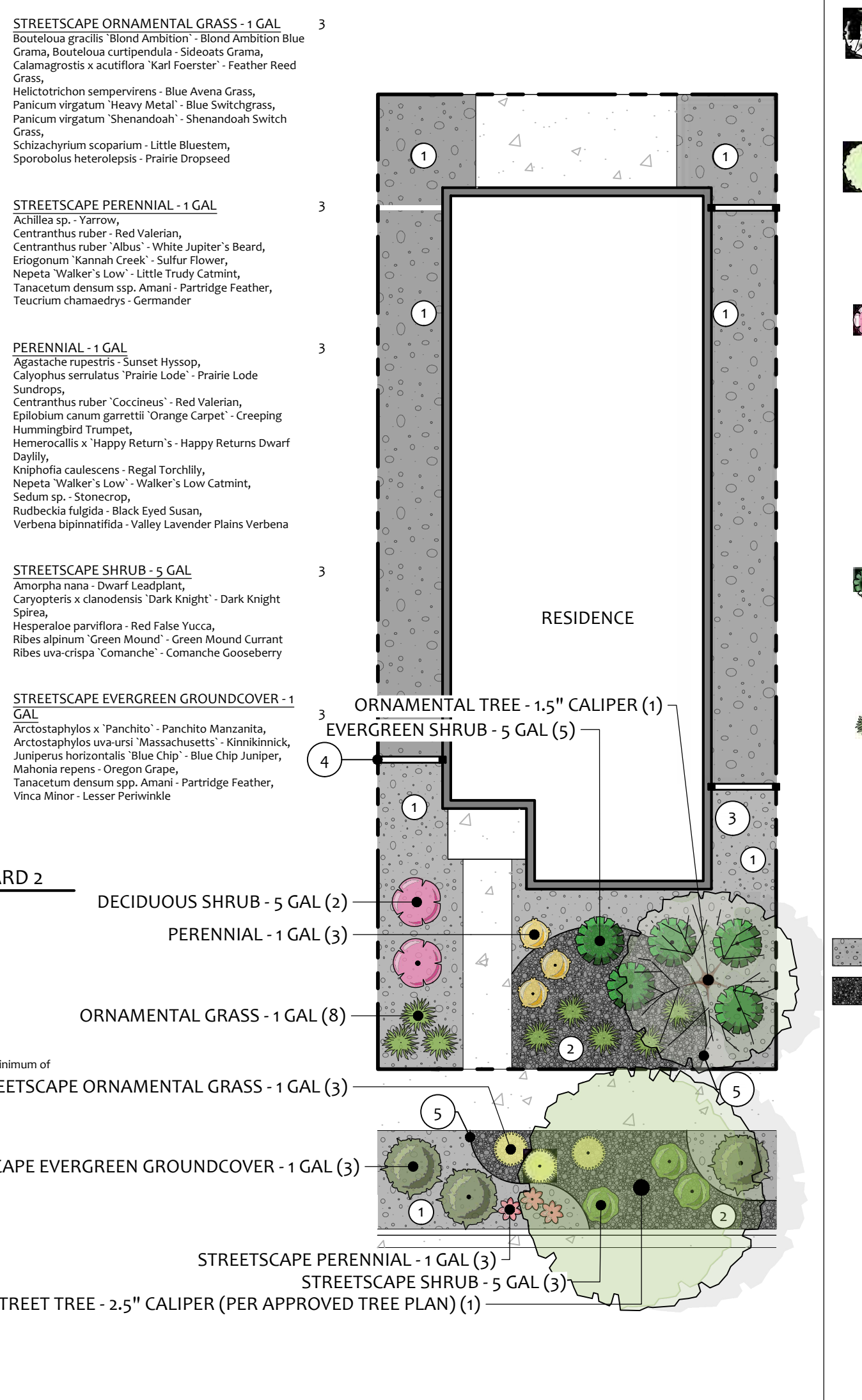


REFERENCE NOTES SCHEDULE STANDARD 2

SYMBOL	DESCRIPTION
	1.5" Gray granite rock atop weed barrier fabric
	1.5" River rock atop weed barrier fabric
	Automatic Irrigation System
	Fence
	Edging: Roll-top galvanized steel edging with pins at a minimum of every 4'.

PLANT SCHEDULE STANDARD 2

	ORNAMENTAL TREE - 1.5" CALIPER Acer latarium - Hot Wings Maple Crataegus virtus - Winter King - Winter King Washington Hawthorn Forestiera neomexicana - Happy Boy - New Mexico Privet Syringa reticulata - Japanese Tree Lilac	1
	STREET TREE - 2.5" CALIPER (PER APPROVED TREE PLAN) Celtis occidentalis - Western Hackberry Catalpa speciosa - Western Catalpa Gleditsia triacanthos inermis - Thornless Common Honeylocust Koeleria paniculata - Golden Raintree Quercus alba x robur - Crimson Spire Oak Quercus muhlenbergii - Chickagon Oak Tilia americana - American Linden	1
	DECIDUOUS SHRUB - 5 GAL Buddleia alternifolia - Argentea - Alternate-Leaf Butterfly Bush Buddleia Podaras #8 - Flutterby Petite Blue Heaven - Flutterby Petite Blue Heaven Butterfly Bush Caryopteris clandensis - Dark Knight - Dark Knight Blue Sundrop Mist Spirea Fallopia paradoxa - Apache Plume Prunus besseyi - Pawnee Buttes - Pawnee Buttes Sand Cherry Rhus aromatica - Gro-Low Sumac Ribes alpinum - Green Mound - Green Mound Currant Ribes sanguineum - King Edward VII - Red Flowering Currant Rosa x KnockOut - Knockout Rose Syringa x Bloomerang - Purple Blooming Lilac Spiraea japonica - Tracy - PPAF - Double Play Big Bang Spirea	2
	EVERGREEN SHRUB - 5 GAL Arctostaphylos x coloradensis - Panchito Manzanita Euonymus fortunei - Coloratus - Wintercreeper Hesperaloe parviflora - Red False Yucca Juniperus communis - Alpine Carpet - Alpine Carpet Juniper Pinus mugo - Slowmound - Slowmound Dwarf Mugo Pine Pinus mugo - Valley Cushion - Valley Cushion Mugo Pine	5
	ORNAMENTAL GRASS - 1 GAL Andropogon gerardii - Windwalker Big Bluestem Bouteloua gracilis - Blond Ambition - Blonde Ambition Grama Grass Helictotrichon sempervirens - Blue Avena Grass Muhlenbergia reverchonii - Undaunted - Undaunted Ruby Muly Grass Pennisetum orientale - Karley Rose - Pink Oriental Fountain Grass	8

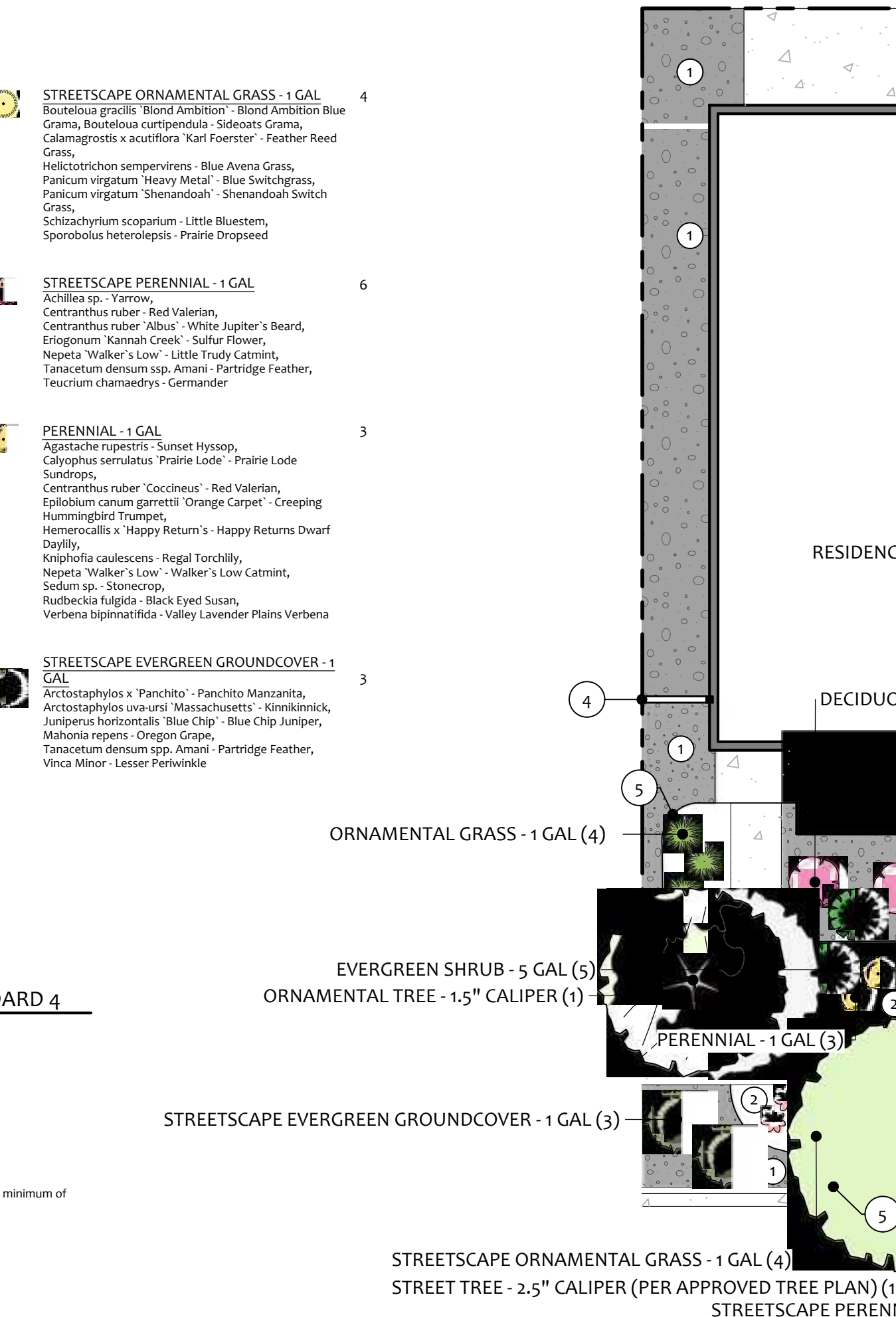


REFERENCE NOTES SCHEDULE STANDARD 3

SYMBOL	DESCRIPTION
	1.5" Gray granite rock atop weed barrier fabric
	1.5" River rock atop weed barrier fabric
	Automatic Irrigation System
	Fence
	Edging: Roll-top galvanized steel edging with pins at a minimum of every 4'.

PLANT SCHEDULE STANDARD 4

	ORNAMENTAL TREE - 1.5" CALIPER Acer latarium - Hot Wings Maple Crataegus virtus - Winter King - Winter King Washington Hawthorn Forestiera neomexicana - Happy Boy - New Mexico Privet Syringa reticulata - Japanese Tree Lilac	1
	STREET TREE - 2.5" CALIPER (PER APPROVED TREE PLAN) Celtis occidentalis - Western Hackberry Catalpa speciosa - Western Catalpa Gleditsia triacanthos inermis - Thornless Common Honeylocust Koeleria paniculata - Golden Raintree Quercus alba x robur - Crimson Spire Oak Quercus muhlenbergii - Chickagon Oak Tilia americana - American Linden	1
	DECIDUOUS SHRUB - 5 GAL Buddleia alternifolia - Argentea - Alternate-Leaf Butterfly Bush Buddleia Podaras #8 - Flutterby Petite Blue Heaven - Flutterby Petite Blue Heaven Butterfly Bush Caryopteris clandensis - Dark Knight - Dark Knight Blue Sundrop Mist Spirea Fallopia paradoxa - Apache Plume Prunus besseyi - Pawnee Buttes - Pawnee Buttes Sand Cherry Rhus aromatica - Gro-Low Sumac Ribes alpinum - Green Mound - Green Mound Currant Ribes sanguineum - King Edward VII - Red Flowering Currant Rosa x KnockOut - Knockout Rose Syringa x Bloomerang - Purple Blooming Lilac Spiraea japonica - Tracy - PPAF - Double Play Big Bang Spirea	4
	EVERGREEN SHRUB - 5 GAL Arctostaphylos x coloradensis - Panchito Manzanita Euonymus fortunei - Coloratus - Wintercreeper Hesperaloe parviflora - Red False Yucca Juniperus communis - Alpine Carpet - Alpine Carpet Juniper Pinus mugo - Slowmound - Slowmound Dwarf Mugo Pine Pinus mugo - Valley Cushion - Valley Cushion Mugo Pine	5
	ORNAMENTAL GRASS - 1 GAL Andropogon gerardii - Windwalker Big Bluestem Bouteloua gracilis - Blond Ambition - Blonde Ambition Grama Grass Helictotrichon sempervirens - Blue Avena Grass Muhlenbergia reverchonii - Undaunted - Undaunted Ruby Muly Grass Pennisetum orientale - Karley Rose - Pink Oriental Fountain Grass	4

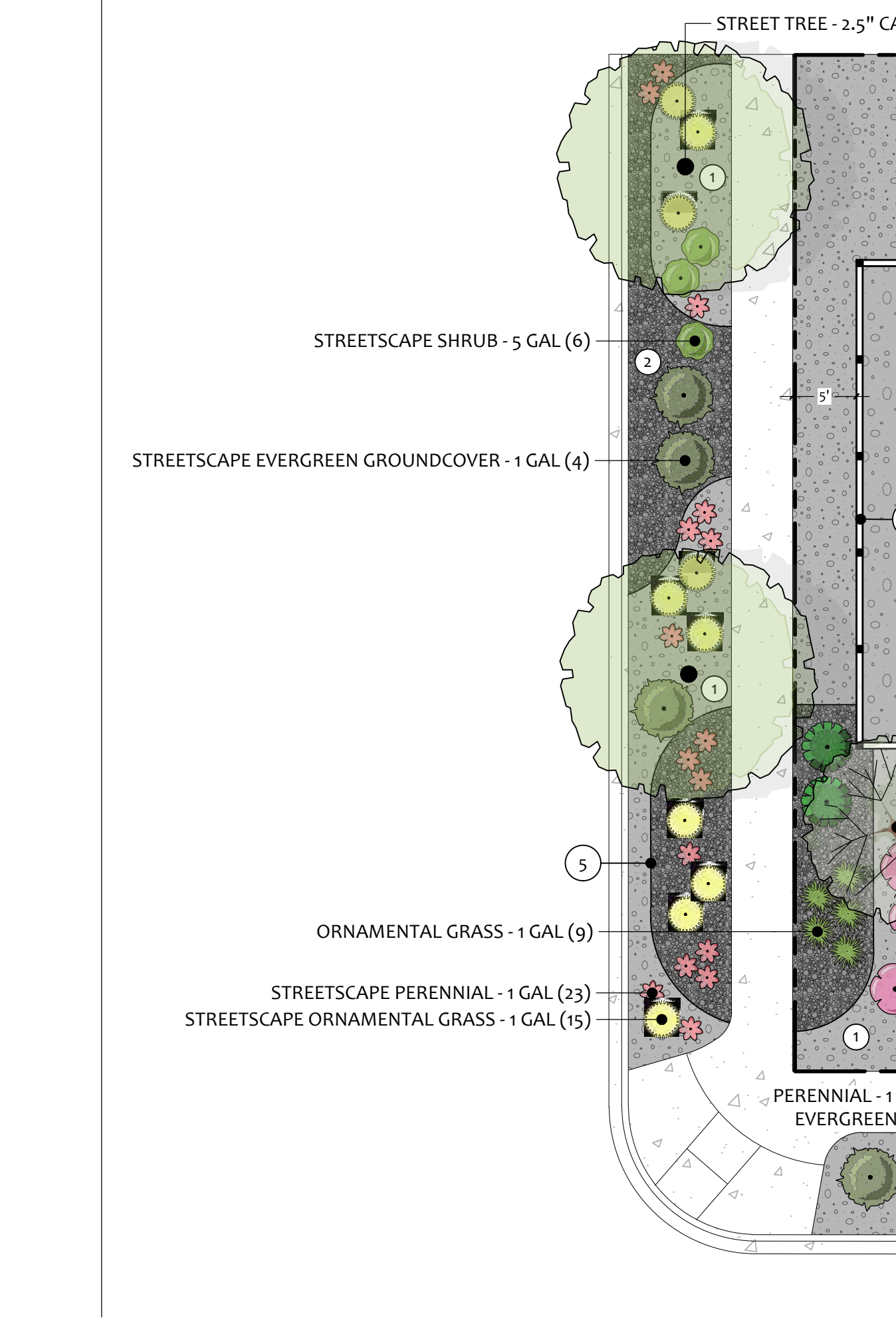


REFERENCE NOTES SCHEDULE STANDARD 4

SYMBOL	DESCRIPTION
	1.5" Gray granite rock atop weed barrier fabric
	1.5" River rock atop weed barrier fabric
	Automatic Irrigation System
	Fence
	Edging: Roll-top galvanized steel edging with pins at a minimum of every 4'.

PLANT SCHEDULE STANDARD 3

	ORNAMENTAL TREE - 1.5" CALIPER Acer latarium - Hot Wings Maple Crataegus virtus - Winter King - Winter King Washington Hawthorn Forestiera neomexicana - Happy Boy - New Mexico Privet Syringa reticulata - Japanese Tree Lilac	1
	STREET TREE - 2.5" CALIPER (PER APPROVED TREE PLAN) Celtis occidentalis - Western Hackberry Catalpa speciosa - Western Catalpa Gleditsia triacanthos inermis - Thornless Common Honeylocust Koeleria paniculata - Golden Raintree Quercus alba x robur - Crimson Spire Oak Quercus muhlenbergii - Chickagon Oak Tilia americana - American Linden	1
	DECIDUOUS SHRUB - 5 GAL Buddleia alternifolia - Argentea - Alternate-Leaf Butterfly Bush Buddleia Podaras #8 - Flutterby Petite Blue Heaven - Flutterby Petite Blue Heaven Butterfly Bush Caryopteris clandensis - Dark Knight - Dark Knight Blue Sundrop Mist Spirea Fallopia paradoxa - Apache Plume Prunus besseyi - Pawnee Buttes - Pawnee Buttes Sand Cherry Rhus aromatica - Gro-Low Sumac Ribes alpinum - Green Mound - Green Mound Currant Ribes sanguineum - King Edward VII - Red Flowering Currant Rosa x KnockOut - Knockout Rose Syringa x Bloomerang - Purple Blooming Lilac Spiraea japonica - Tracy - PPAF - Double Play Big Bang Spirea	5
	EVERGREEN SHRUB - 5 GAL Arctostaphylos x coloradensis - Panchito Manzanita Euonymus fortunei - Coloratus - Wintercreeper Hesperaloe parviflora - Red False Yucca Juniperus communis - Alpine Carpet - Alpine Carpet Juniper Pinus mugo - Slowmound - Slowmound Dwarf Mugo Pine Pinus mugo - Valley Cushion - Valley Cushion Mugo Pine	7
	ORNAMENTAL GRASS - 1 GAL Andropogon gerardii - Windwalker Big Bluestem Bouteloua gracilis - Blond Ambition - Blonde Ambition Grama Grass Helictotrichon sempervirens - Blue Avena Grass Muhlenbergia reverchonii - Undaunted - Undaunted Ruby Muly Grass Pennisetum orientale - Karley Rose - Pink Oriental Fountain Grass	9

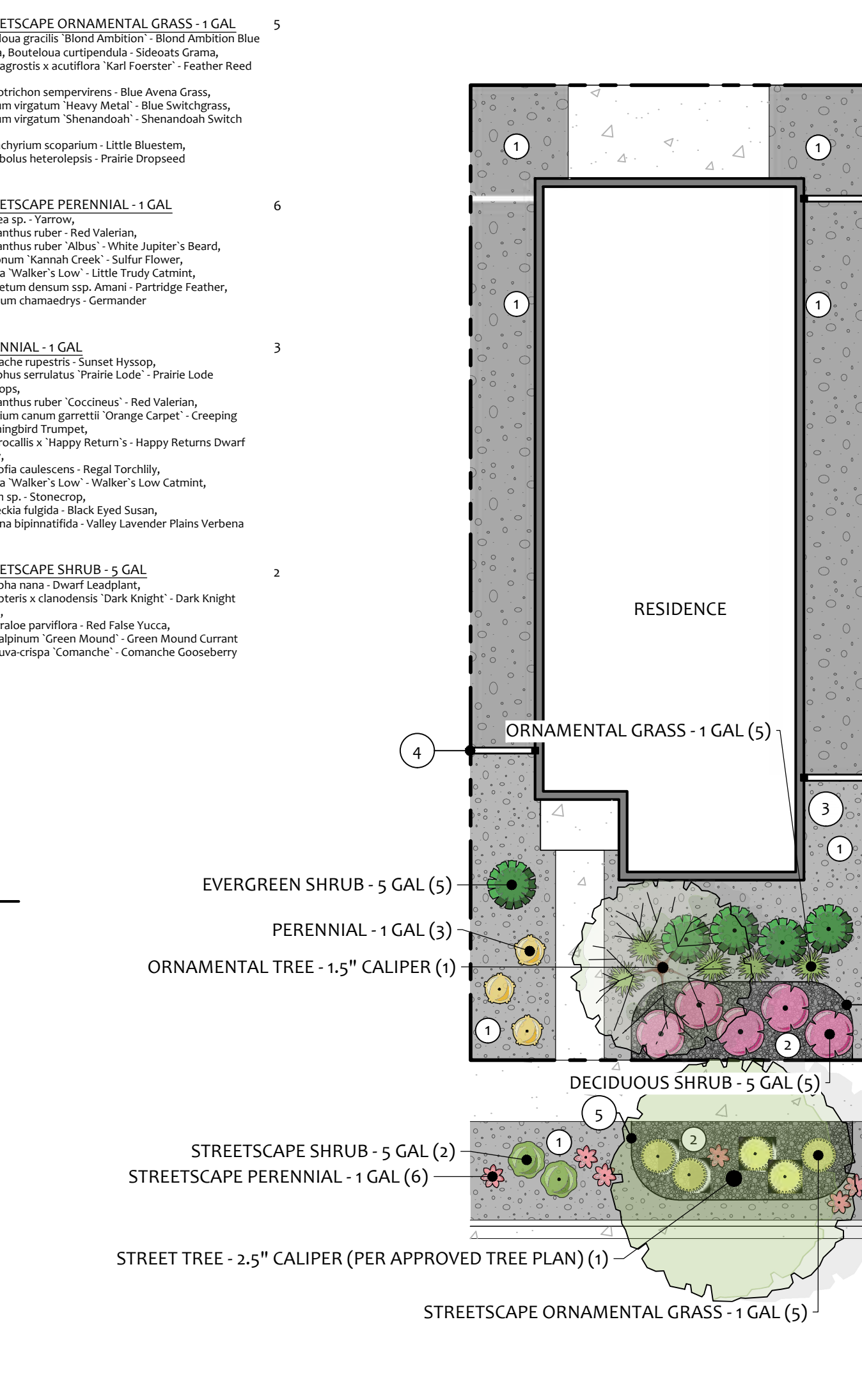


REFERENCE NOTES SCHEDULE STANDARD 3

SYMBOL	DESCRIPTION
	1.5" Gray granite rock atop weed barrier fabric
	1.5" River rock atop weed barrier fabric
	Automatic Irrigation System
	Fence
	Edging: Roll-top galvanized steel edging with pins at a minimum of every 4'.

PLANT SCHEDULE STANDARD 3

	ORNAMENTAL TREE - 1.5" CALIPER Acer latarium - Hot Wings Maple Crataegus virtus - Winter King - Winter King Washington Hawthorn Forestiera neomexicana - Happy Boy - New Mexico Privet Syringa reticulata - Japanese Tree Lilac	1
	STREET TREE - 2.5" CALIPER (PER APPROVED TREE PLAN) Celtis occidentalis - Western Hackberry Catalpa speciosa - Western Catalpa Gleditsia triacanthos inermis - Thornless Common Honeylocust Koeleria paniculata - Golden Raintree Quercus alba x robur - Crimson Spire Oak Quercus muhlenbergii - Chickagon Oak Tilia americana - American Linden	1
	DECIDUOUS SHRUB - 5 GAL Buddleia alternifolia - Argentea - Alternate-Leaf Butterfly Bush Buddleia Podaras #8 - Flutterby Petite Blue Heaven - Flutterby Petite Blue Heaven Butterfly Bush Caryopteris clandensis - Dark Knight - Dark Knight Blue Sundrop Mist Spirea Fallopia paradoxa - Apache Plume Prunus besseyi - Pawnee Buttes - Pawnee Buttes Sand Cherry Rhus aromatica - Gro-Low Sumac Ribes alpinum - Green Mound - Green Mound Currant Ribes sanguineum - King Edward VII - Red Flowering Currant Rosa x KnockOut - Knockout Rose Syringa x Bloomerang - Purple Blooming Lilac Spiraea japonica - Tracy - PPAF - Double Play Big Bang Spirea	5
	EVERGREEN SHRUB - 5 GAL Arctostaphylos x coloradensis - Panchito Manzanita Euonymus fortunei - Coloratus - Wintercreeper Hesperaloe parviflora - Red False Yucca Juniperus communis - Alpine Carpet - Alpine Carpet Juniper Pinus mugo - Slowmound - Slowmound Dwarf Mugo Pine Pinus mugo - Valley Cushion - Valley Cushion Mugo Pine	5
	ORNAMENTAL GRASS - 1 GAL Andropogon gerardii - Windwalker Big Bluestem Bouteloua gracilis - Blond Ambition - Blonde Ambition Grama Grass Helictotrichon sempervirens - Blue Avena Grass Muhlenbergia reverchonii - Undaunted - Undaunted Ruby Muly Grass Pennisetum orientale - Karley Rose - Pink Oriental Fountain Grass	5

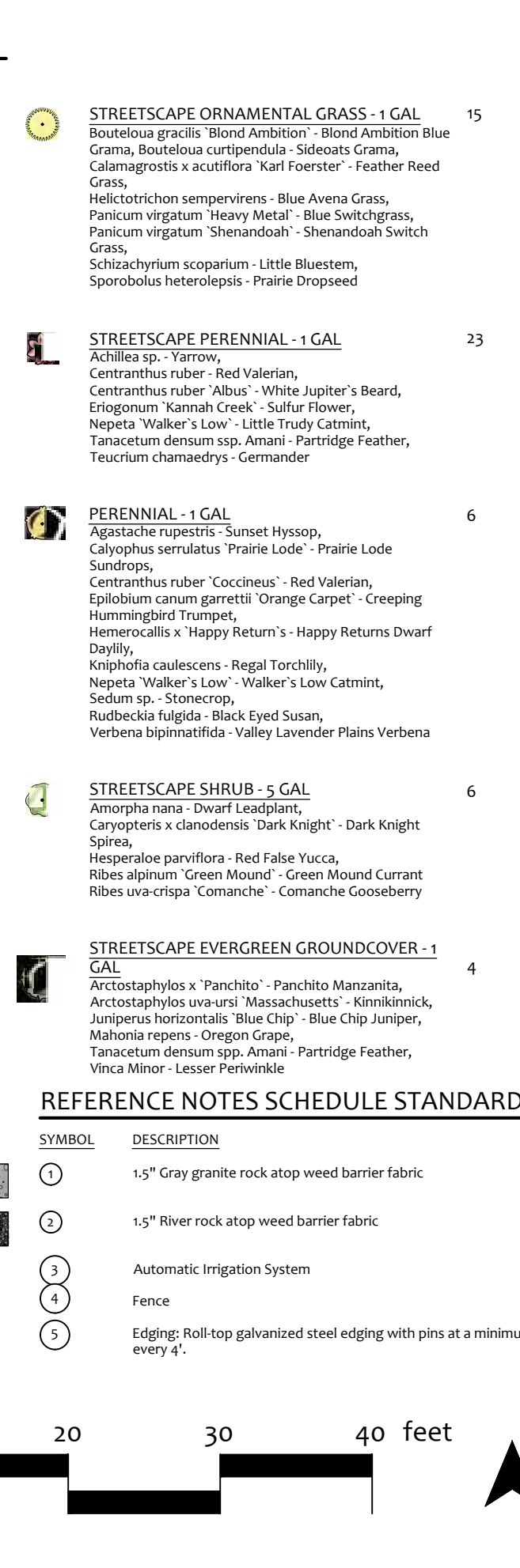


REFERENCE NOTES SCHEDULE STANDARD 3

SYMBOL	DESCRIPTION
	1.5" Gray granite rock atop weed barrier fabric
	1.5" River rock atop weed barrier fabric
	Automatic Irrigation System
	Fence
	Edging: Roll-top galvanized steel edging with pins at a minimum of every 4'.

PLANT SCHEDULE CORNER

	ORNAMENTAL TREE - 1.5" CALIPER Acer latarium - Hot Wings Maple Crataegus virtus - Winter King - Winter King Washington Hawthorn Forestiera neomexicana - Happy Boy - New Mexico Privet Syringa reticulata - Japanese Tree Lilac	1
	STREET TREE - 2.5" CALIPER (PER APPROVED TREE PLAN) Celtis occidentalis - Western Hackberry Catalpa speciosa - Western Catalpa Gleditsia triacanthos inermis - Thornless Common Honeylocust Koeleria paniculata - Golden Raintree Quercus alba x robur - Crimson Spire Oak Quercus muhlenbergii - Chickagon Oak Tilia americana - American Linden	3
	DECIDUOUS SHRUB - 5 GAL Buddleia alternifolia - Argentea - Alternate-Leaf Butterfly Bush Buddleia Podaras #8 - Flutterby Petite Blue Heaven - Flutterby Petite Blue Heaven Butterfly Bush Caryopteris clandensis - Dark Knight - Dark Knight Blue Sundrop Mist Spirea Fallopia paradoxa - Apache Plume Prunus besseyi - Pawnee Buttes - Pawnee Buttes Sand Cherry Rhus aromatica - Gro-Low Sumac Ribes alpinum - Green Mound - Green Mound Currant Ribes sanguineum - King Edward VII - Red Flowering Currant Rosa x KnockOut - Knockout Rose Syringa x Bloomerang - Purple Blooming Lilac Spiraea japonica - Tracy - PPAF - Double Play Big Bang Spirea	3
	EVERGREEN SHRUB - 5 GAL Arctostaphylos x coloradensis - Panchito Manzanita Euonymus fortunei - Coloratus - Wintercreeper Hesperaloe parviflora - Red False Yucca Juniperus communis - Alpine Carpet - Alpine Carpet Juniper Pinus mugo - Slowmound - Slowmound Dwarf Mugo Pine Pinus mugo - Valley Cushion - Valley Cushion Mugo Pine	7
	ORNAMENTAL GRASS - 1 GAL Andropogon gerardii - Windwalker Big Bluestem Bouteloua gracilis - Blond Ambition - Blonde Ambition Grama Grass Helictotrichon sempervirens - Blue Avena Grass Muhlenbergia reverchonii - Undaunted - Undaunted Ruby Muly Grass Pennisetum orientale - Karley Rose - Pink Oriental Fountain Grass	9



REFERENCE NOTES SCHEDULE STANDARD 3

SYMBOL	DESCRIPTION
	1.5" Gray granite rock atop weed barrier fabric
	1.5" River rock atop weed barrier fabric
	Automatic Irrigation System
	Fence
	Edging: Roll-top galvanized steel edging with pins at a minimum of every 4'.

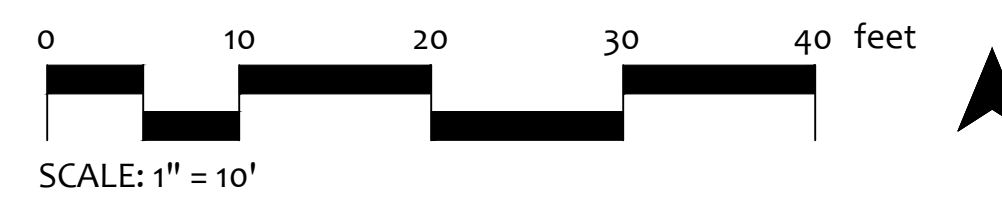
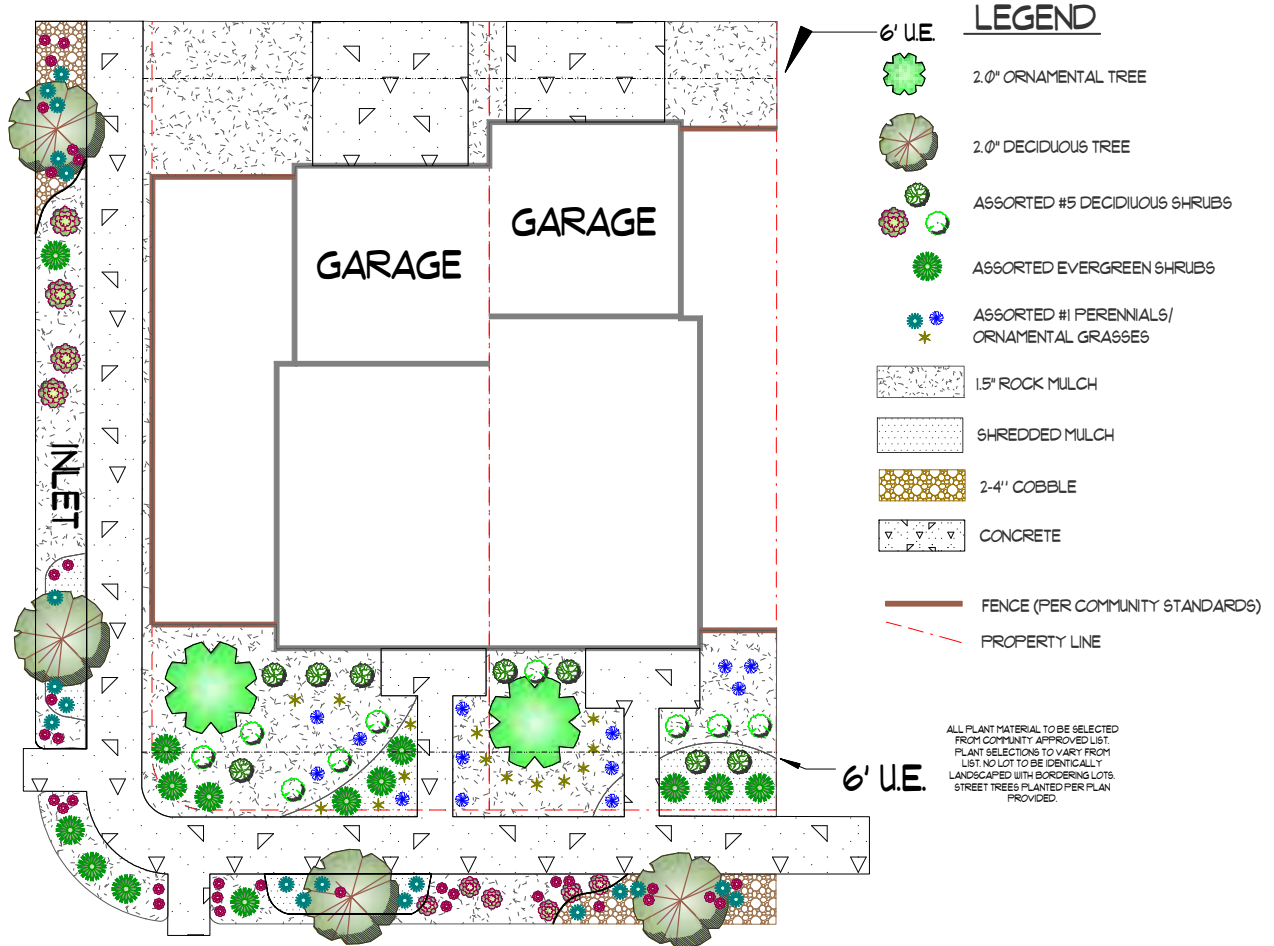


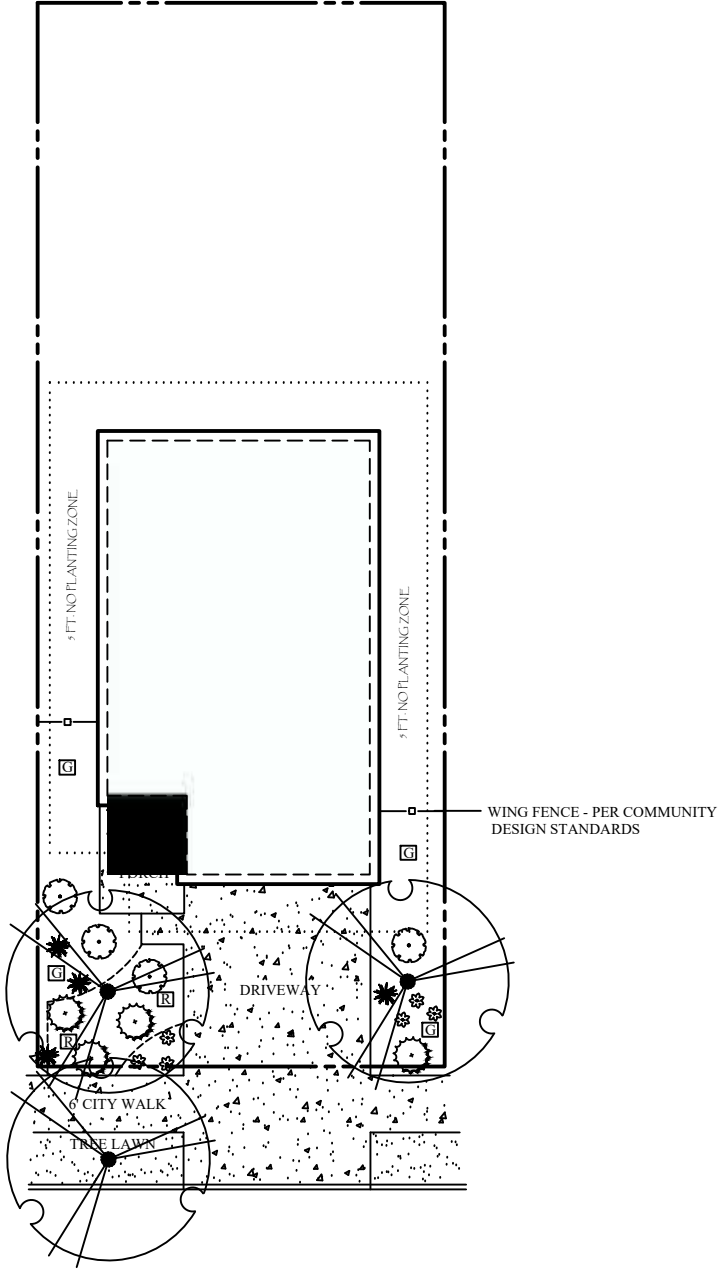
EXHIBIT G - KB Home Xeric Front Yard Typical for Alley Load Paired Villas



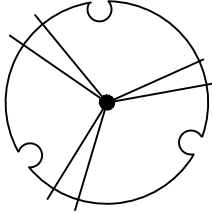
Revision #: 3	Scale:	Landscape Plan: 1	Landscape Design by: Josh Fulmer
Date: 8/27/2024	1" = 20'	KB - Farmlore Paired Typical	B & M Turf Services

EXHIBIT H - Xeric Front Yard Sample #1 (SFD)

FRONT YARD TYPICAL



*PLANT MATERIAL INSTALLED MUST BE LISTED AND CAN BE CHOSEN FROM COLORADO PLANT SELECT PLANTS, LOW OR DROUGHT TOLERANT PLANTS.



DECIDUOUS TREE 2"
ORNAMENTAL TREE 2"



DECIDUOUS SHRUB #5
EVERGREEN SHRUB #5
*A MINIMUM OF 25% OF SHRUBS
NEED TO BE EVERGREEN VARIETY



PERENNIAL #1

LEGEND

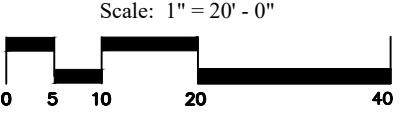
*A MINIMUM OF TWO DISTINCT MULCHES IS REQUIRED

R = 1.5" TAN RIVER W/FABRIC
G = 1.5" MOUNTAIN GRANITE W/FABRIC
W = SHREDDED CEDAR WOOD MULCH

— = PRO-STEEL EDGER

*TREE LAWN IS PER COMMUNITY MASTER LANDSCAPE PLAN

*PLANTS MUST PROVIDE A MINIMUM OF 50% COVERAGE AT PLANT INSTALLATION AND A MINIMUM OF 75% COVERAGE AT MATURITY.



LANDSCAPE DESIGN & CONSTRUCTION



BLR Creative, LLC
 Phone: 720.951.2865
 Email: Brian@BLRCreative.com

LANDSCAPE PLAN
 FARMLORE COMMUNITY
 FRONT YARD LANDSCAPE TYPICAL
 BRIGHTON, COLORADO

Designed by:
 Brian R. Reynolds
 Date: 09.20.2024

Revisions:
 10.11.2024

This document is the property of BLR Creative, LLC. The ideas and design incorporated on this document is an instrument of professional service and shall not be used for any other project without written authorization of BLR Creative, LLC.

Scale:
 1" = 20' - 0"

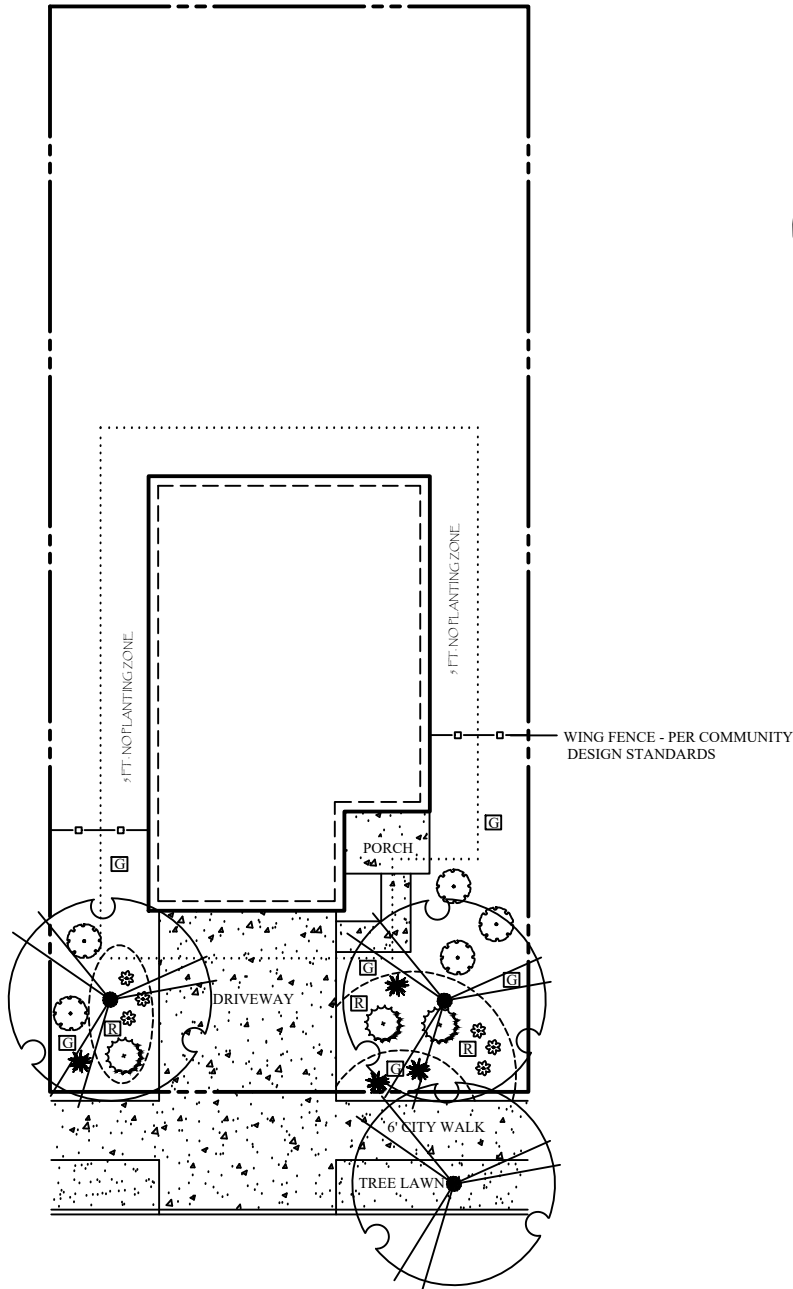
Sheet Title:
 Landscape Plan

Sheet Number:

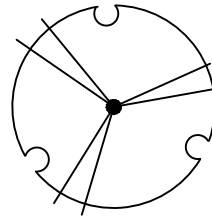
L-1

EXHIBIT H - Xeric Front Yard Sample #2 (SFD)

FRONT YARD TYPICAL



*PLANT MATERIAL INSTALLED MUST BE LISTED AND CAN BE CHOSEN FROM COLORADO PLANT SELECT PLANTS, LOW OR DROUGHT TOLERANT PLANTS.



DECIDUOUS TREE 2"
ORNAMENTAL TREE 2"



DECIDUOUS SHRUB #5



EVERGREEN SHRUB #5
*A MINIMUM OF 25% OF SHRUBS
NEED TO BE EVERGREEN VARIETY



PERENNIAL #1

LEGEND

*A MINIMUM OF TWO DISTINCT MULCHES IS REQUIRED

R = 1.5" TAN RIVER W/FABRIC

G = 1.5" MOUNTAIN GRANITE W/FABRIC

W = SHREDDED CEDAR WOOD MULCH

= PRO-STEEL EDGER

*TREE LAWN IS PER COMMUNITY MASTER LANDSCAPE PLAN

*PLANTS MUST PROVIDE A MINIMUM OF 50% COVERAGE AT PLANT INSTALLATION AND A MINIMUM OF 75% COVERAGE AT MATURITY.

Scale: 1" = 20' - 0"



LANDSCAPE DESIGN & CONSTRUCTION



DESIGNED FOR:



BLR Creative, LLC

Phone: 720.951.2865
Email: Brian@BLRCreative.com

LANDSCAPE PLAN
FARMLORE COMMUNITY
FRONT YARD LANDSCAPE TYPICAL
BRIGHTON, COLORADO

Designed by:
Brian R. Reynolds
Date: 09.20.2024

Revisions:

10.11.2024	

This document is the property of BLR Creative, LLC. The ideas and design incorporated on this document is an instrument of professional service and shall not be used for any other project without written authorization of BLR Creative, LLC.

Scale:
1" = 20' - 0"

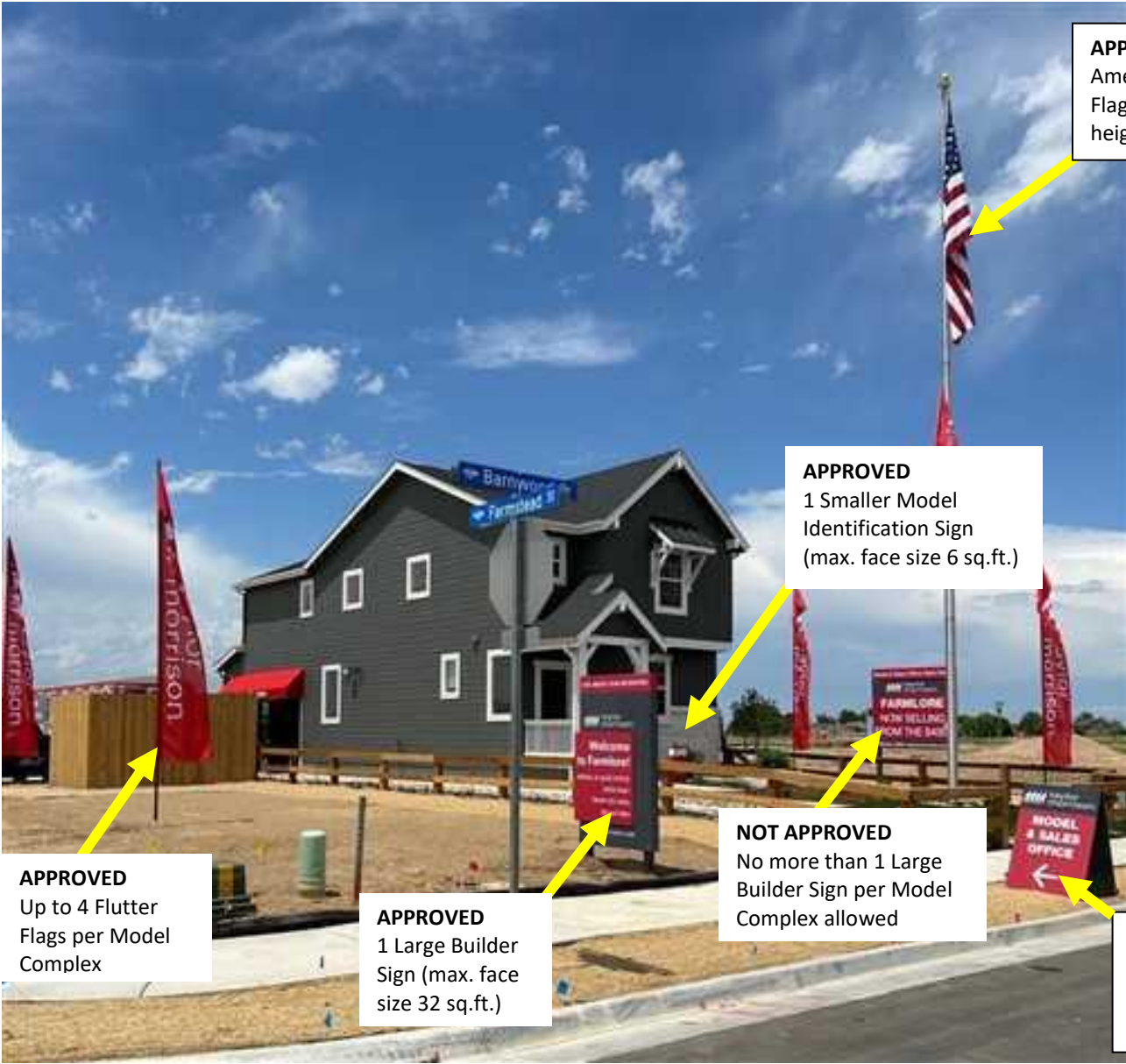
Sheet Title:
Landscape Plan

Sheet Number:

L-1

Farmlore Builder Signage Rules & Regulations Sample

Front of Model Complex



Alley Sales Office



APPROVED
Sales Office Open Sandwich Board (only during open hours)

**RESOLUTION
OF THE BOARD OF DIRECTORS OF THE
THE LAKES METROPOLITAN DISTRICT NO. 4
ESTABLISHING LEASING RULES AND REGULATIONS**

WHEREAS, the Lakes Metropolitan District No. 4 (the “**District**”) is a quasi-municipal corporation and political subdivision of the State of Colorado; and

WHEREAS, the property within the District is subject to that certain Master Declaration of Covenants, Conditions, and Restrictions for Farmlore, recorded in the real property records of the Clerk and Recorder of Adams County, Colorado at Reception No. 2023000055059, on September 27, 2023, (the “**Declaration**”); and

WHEREAS, unless otherwise defined in this Resolution, initially capitalized terms used herein shall have the meaning given to the same in the Declaration; and

WHEREAS, Article 1, Section 1.2 of the Declaration states that one purpose of the Declaration is to enhance and protect the quality, value, aesthetic nature, desirability, and attractiveness of the Project Area; and

WHEREAS, Article 2, Section 2.33 of the Covenants provides that the District may adopt Rules and Regulations for the regulation and management of the Project Area, and that such Rules and Regulations may state procedural requirements, interpretations and applications of the provisions of the Declaration; and

WHEREAS, the District has an interest in ensuring that any tenants of any Site comply with the Declaration and any other Rules and Regulations adopted by the District in order to protect the quality, value, aesthetic nature, desirability, and attractiveness of the Project Area; and

WHEREAS, the rules and regulations set forth in this Resolution are intended to . . .

NOW THEREFORE, the Board hereby adopts this Resolution and the following in relation to the leasing of Residential Sites:

1. **Definition of “Lease”.** For the purposes of this Resolution, to lease a Site means to allow the regular, exclusive occupancy of a Site by any person other than the Owner, provided, however, for the purposes of this Declaration, leasing shall not include the occupancy of the Site by the child or parent of an Owner.

2. **Leasing Regulations.**

(a) All leases of Sites shall be in writing and shall provide that the lease is subject to all of the terms of the Declaration and any Rules and Regulations of the District. Owners of Sites are required to provide tenants with copies of the current Declaration and any Rules and Regulations of the District. The Owner of any Site which is leased shall be

responsible for any violation of the Declaration or any Rules and Regulations of the District committed or caused by any tenant of such Owner.

(b) For communication purposes, each Owner who leases his or her Site shall provide the District with the name, phone number, and contact email address of any tenant. Additionally, all Owners who reside at a place other than their Site shall provide to the District an address and phone number where the Owner can be reached in the case of emergency or other District business. It is the sole responsibility of the Owner to keep this information current.

(c) Each Owner is strongly encouraged to conduct full background checks, including credit and criminal reports, for each lease applicant.

(d) It shall be the responsibility of each Owner to ensure that any lease of the Owner's Site complies with the City of Brighton's regulations, including obtaining business license, if applicable, for any short-term rental, and the collection and payment of all applicable taxes, including the lodging tax.

Remainder of page intentionally left blank, signature page follows.]

APPROVED AND ADOPTED August 19, 2025.

**THE LAKES METROPOLITAN DISTRICT
NO. 4**, a quasi-municipal corporation and
political subdivision of the State of Colorado

By: 

Officer of the District

Attest:

By: Erika Vallin

APPROVED AS TO FORM:

WHITE BEAR ANKELE TANAKA & WALDRON
Attorneys at Law



General Counsel to the District

EXHIBIT K – ARC Submittal Forms

SUBMITTAL FORMS

The application forms for ARC approval are attached to these standards. All plans submitted for review must be drawn to scale. All plans shall be of the same sheet size. Exterior color selections must be approved prior to being applied to the dwelling. A display board showing the front elevation and all colors and exterior materials to be used must be provided before final approval will be given. Landscaping plans must be drawn to scale and must show all existing improvements and all proposed improvements, including plantings, walls, gazebos, fences and gates, proposed dog runs, play areas and equipment, etc. Electronic documents provided to the ARC will be retained by the ARC for the ARC records.

**FARMLORE NORTH DESIGN REVIEW
SUBMITTAL INSTRUCTIONS - BUILDERS**

Steps in Submitting Plans to the Architectural Review Committee for consideration:

- Step One: Complete the Application Form**
- Step Two: Complete the Materials and Colors Form** (when applicable)
- Step Three: Complete the Submittal Checklist Form**
- Step Four: Complete the Declarant Architectural Checklist Form**
- Step Five: Forward Forms and Materials to the ARC with any applicable Fees** (Application Form, Materials and Colors Form, Submittal Checklist Form, Declarant Architectural Checklist Form, and Required Drawings and Materials)

Design Review Fee Structure:

<u>Submittal</u>	<u>Initial Review Fee</u>	<u>Re-submittal Fee</u>
Architecture and Site Plan	\$300.00	No Fee
Landscape Design (Initial)	No Fee	\$100.00
Carriage Unit or ADU (<i>if submitted later than primary residence</i>)	\$150.00	No Fee
Fencing Plan	No Fee	\$50.00
Other Submittals	No Fee	\$50.00

This fee structure has been created in order to offset expenses for review by consultants, professional architects and landscape designers to review appropriate plans as members of the ARC.

**If you have any questions regarding your submittal please contact
Farmlore, Ltd. c/o Vintage Homes and Land, LLC ■ 303-346-6437**

**FARMLORE NORTH
ARCHITECTURAL DESIGN REVIEW
APPLICATION FORM**

Contact Information: (This is where review comments will be sent unless notified otherwise)

Name: _____

Current Address: _____

City/State/Zip: _____

Home Phone: _____ Cell: _____ Business: _____

Submitted For:

Site Number: _____ Block Number: _____ Street Address: _____

Please check what is being submitted for review:

- Architecture and Site Plan
- Landscape Design
- Fencing Plan: Perimeter, Interior, Privacy, etc.
- Other: Carriage Unit or ADU, Play Structures, Swimming Pools, Signage, etc.
- Is this a _____ First Submittal or a _____ Re-submittal?

A detailed drawing of all improvements must be attached to the application to show location and dimensions. Complete the materials color form with this application. For painting projects, please include a color sample.

Contractor: _____

Planned Start Date: _____ Completion Date: _____

Any comments regarding your submittal the ARC should consider?

- ARC Fee Enclosed** if applicable (See Fee Table) - Please make checks payable to:

**Farmlore, Ltd.
c/o Vintage Homes and Land, LLC
330 Shadycroft Drive
Littleton, CO 80120**

I understand that I must receive approval from the The Lakes Metropolitan District No. 4 Architectural Review Committee **before construction can commence**. I have read, understand and agree to be bound by the Hold Harmless Acknowledgement and the Other Conditions on page 2 of this application form.

Date: _____ Signature: _____

Date: _____ Signature: _____

This form must be signed above and on page 2 to be considered for ARC Review.

**APPLICATION AND REVIEW FORM
FOR ARCHITECTURAL IMPROVEMENT OR EXTERIOR CHANGE**

HOLD HARMLESS ACKNOWLEDGEMENT

Unless defined in this Hold Harmless Acknowledgment, initially capitalized terms used herein shall have the meaning given to the same in the Master Declaration of Covenants, Conditions, and Restrictions for Farmlore (the "CCRs"). There shall be no liability on the Board of Directors, the Architectural Review Committee (hereinafter referred to as the ARC), the management company, nor any authorized committee representative of the Association for any loss, damage or injury arising out of, or in any way connected with, the performance of the duties of the ARC.

I agree to hold harmless the Board of Directors and/or ARC members in their review of any matter submitted to the ARC. Neither the ARC nor the Board of Directors is responsible for any matters relating to safety, whether' structural or otherwise, on conformance with building codes or other governmental laws and regulations, nor shall the ARC's approval of an Improvement to Property be deemed approval of such matters.

OTHER CONDITIONS

1. I will pay for and secure any/all necessary licenses and permits as may be required by law and will not start on the Improvement to Property until I have obtained all required approvals and permits. Approval of the Improvement or Property or change by the ARC DOES NOT constitute approval by local governmental entities, including but not limited to local building or zoning departments; nor drainage design, nor structural soundness.
2. I will be responsible for future maintenance and repairs of the Improvement to Property. The District will NOT maintain the Improvement to Property, nor will the District be responsible for repairing any damage to the Improvement to Property, nor any damage caused as a result of the Improvement to Property. In the event the construction of the requested Improvement to Property causes damage to any other property within the community, I will bear the full responsibility for that damage.
3. I will be responsible for immediate, proper disposal of any/all trash, debris, material, etc. generated as a result of the work. Use of Community or other Builder trash receptacles is prohibited.
4. All applications, denied or approved, are further subject to the District governing documents; the CCRs, the Design Standards, and Rules and Regulations.
5. I authorize entry onto my property for exterior inspection..
6. I will be responsible for the District's reasonable attorney fees and costs related to my failure to obtain approval or to properly complete the Improvement to Property regardless of whether my request or application is later approved.
7. The ARC may request additional information relating to my Improvement to Property prior to approving this request and/or prior to the completion of the improvement and I will immediately comply with any such request(s). Failure to comply shall result in the withdrawal of the ARC approval, if previously granted, and waiver of any time limits imposed upon the District.
8. If the Improvement to Property as built or completed does not conform to the Improvement to Property as approved by the ARC, upon written request of the ARC, I will at my own expense and cost, promptly restore the property to substantially the same condition as existed prior to commencement of the Improvement to Property.

Signature of Owner _____ Date submitted _____

This application must be signed here and on page 1 to be considered.

APPLICATION APPROVED SUBJECT TO:

APPLICATION DISAPPROVED FOR THE FOLLOWING REASONS: _____

FARMLORE NORTH DESIGN REVIEW
MATERIALS AND COLORS FORM

Please submit this form to accompany your materials, colors, and lighting information for ARC consideration.

Site Number: _____ Block Number: _____ Address: _____

Date: _____

Owner: _____

Exterior Material: _____

Manufacturer: _____

Color: _____

Style: _____

Exterior Material: _____

Manufacturer: _____

Color: _____

Style: _____

Exterior Material: _____

Manufacturer: _____

Color: _____

Style: _____

Paint/Stain Colors: _____

Manufacturer: _____

Body Color: _____

Trim Color: _____

Other Colors: _____

Roofing Material: _____

Manufacturer: _____

Color: _____

Style: _____

Exterior Lighting: _____

Manufacturer: _____

Color: _____

Style: _____

Deck/Porch Material: _____

Color: _____

Style: _____

Railings: _____

Fencing Material: _____

Style: _____

Color: _____

Height: _____

FARMLORE NORTH DESIGN REVIEW
SUBMITTAL CHECKLIST FORM

Please submit this form to accompany your application form, materials and colors form and materials and colors board with architectural plans and any applicable fees to the Architectural Review Committee as the final step in the review process.

Site Number: _____ Block Number: _____ Address: _____

FORMS

- Completed Application Form (2 pages)**
- Completed Materials and Colors Form**
- Completed Declarant Architectural Checklist Form**
- Completed Checklist Form (this form)**

SITE PLAN (Required for all improvements after initial Master Builder Plan approval)

- Building Location within Setbacks
- Setbacks and Easements
- Driveway Location and Percentage of Slope
- Grading and Drainage Plan
- Top of Foundation Elevations (Including Garage and Basement)

ARCHITECTURE (Plans at Scale of 1/4" = 1' 0")

- Floor Plans (Check all below that apply with this submittal)
 - Residence
 - Accessory Living Area building
- Exterior Elevations
- Cross Section
- Location of Exterior Lighting
- Cut Sheets of Exterior Light Fixtures
- Materials and Color Form
- Color and Material Samples

OTHER

- Landscape Plan (not required with Architectural Submittal)
- Fencing Plan (required with Landscape Plan)
- Detached Accessory Living Area Building with Garage (if applicable, not required with Architectural Submittal)
- Other Improvements (if applicable, not required with Architectural Submittal)

FEES (Check all that apply)

- | | | |
|---|-----------------------------|---------------------------|
| <input type="checkbox"/> Architecture and Site Plan | _____ Initial Review \$300 | _____ Re-submittal No Fee |
| <input type="checkbox"/> Landscape Design | _____ Initial Review No Fee | _____ Re-submittal \$100 |
| <input type="checkbox"/> Accessory Building | _____ Initial Review \$150 | _____ Re-submittal No Fee |
| <input type="checkbox"/> Fencing Plan | _____ Initial Review No Fee | _____ Re-submittal \$50 |
| <input type="checkbox"/> Other Submittals | _____ Initial Review No Fee | _____ Re-submittal \$50 |